



## AGENDA – Monday, November 20, 2017

7:00 p.m. City Council Meeting

Long Beach City Hall

115 Bolstad Avenue West

### 7:00 p.m. CALL TO ORDER; PLEDGE OF ALLEGIANCE; AND ROLL CALL

Call to order	Mayor Phillips, Council Member Linhart, Council Member McGuire,
And roll call	Council Member Murry, Council Member Hanson & Council Member Kemmer.

### PUBLIC COMMENT

At this time, the Mayor will call for any comments from the public on any subject whether or not it is on the agenda for any item(s) the public may wish to bring forward and discuss. Preference will be given to those who must travel. **Please limit your comments to three minutes. The City Council does not take any action or make any decisions during public comment.** To request Council action during the Business portion of a Council meeting, contact the City Administrator at least one week in advance of a meeting.

### CONSENT AGENDA – TAB A

All matters, which are listed within the consent section of the agenda, have been distributed to each member of the Long Beach City Council for reading and study. Items listed are considered routine by the Council and will be enacted with one motion unless a Council Member specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following items:

- Minutes, November 6, 2017 City Council Meeting
- Payment Approval List for Warrant Registers 57426-57476 & 82552-82596 for \$184,117.52

### BUSINESS

- AB 17-62 – Fireworks Contract for New Year's Eve 2017 – TAB B
- AB 17-63 – 2018 Preliminary Budget – **PUBLIC HEARING** - TAB C
- AB 17-64 – 2018 Property Tax Rate – **PUBLIC HEARING** – TAB D
- AB 17-65 – DR 2017-25 Adrift Spa – TAB E
- AB 17-66 – DR 2017-26 JPCHA Driftwood Point Apartments – TAB F
- AB 17-67 – Sludge Disposal Site Contract – TAB G

### DEPARTMENT HEAD ORAL REPORTS

#### CORRESPONDENCE AND WRITTEN REPORTS – TAB H

- Charter Communications Programming Update
- 2017 October Staff Report – Tourism and Events
- 2017 November Staff Report – Tourism and Events
- 2017 October Wastewater Department Report
- 2017 October Water Department Report

### FUTURE CITY COUNCIL MEETING SCHEDULE

The Regular City Council meetings are held the 1<sup>st</sup> and 3<sup>rd</sup> Monday of each month at 7:00 PM and may be preceded by a workshop.  
December 4, 2017, December 18, 2017 & January 2, 2018

### ADJOURNMENT

American with Disabilities Act Notice: The City Council Meeting room is accessible to persons with disabilities. If you need assistance, contact the City Clerk at (360) 642-4421 or advise City Administrator at the meeting.





TAB - A



## LONG BEACH CITY COUNCIL MEETING

November 6, 2017

### 6:30 COUNCIL WORKSHOP

WS 17-20- Merchants Plastic vs. Paper Bags

### 7:00 CALL TO ORDER; PLEDGE OF ALLEGIANCE; ROLL CALL

Mayor Phillips called the meeting to order; asked for the Pledge of Allegiance and roll call.

### ROLL CALL

David Glasson, City Administrator, called roll with C. Linhart, C. Murry, C. Hanson, C. Kemmer, and C. McGuire all present.

### PUBLIC COMMENT

No comments.

### CONSENT AGENDA

Minutes, October 16, 2017 City Council Meeting & Minutes, October 16, 2017 SERP Public Meeting  
Payment Approval List for Warrant Registers 57399-57425 & 82454-82551 for \$197,052.12

**C. Linhart made the motion to approve the Consent Agenda. C. Hanson seconded the motion. 5 Ayes, motion passed.**

### BUSINESS

AB 17-60- Agreement for Government Relations Services

David Glasson, City Administrator, and Mayor Jerry Phillips presented the Agenda Bill. In early 2017 the Council approved an agreement with Sarah Davenport-Smith for lobbying services during this session. Mayor Phillips continues to work with the legislature in his capacity as Mayor and representative to the Association of Washington Cities to educate state elected officials of the funding issues small cities face. This contract is for the next legislative session and focuses on funding of the Biosolids Plant and Tsunami Berm.

**C. Linhart made the motion to authorize the Mayor to enter into this agreement for government relations services. C. McGuire seconded the motion, 5 Ayes, motion passed.**

AB 17-61- Special Use Permit for Shoeboxes of Joy

Ariel Smith, Community Development Director, presented the Agenda Bill. Shoe Boxes of Joy asks to use the Long Beach Depot for the period between Thanksgiving and Christmas (Nov. 24<sup>th</sup>-Dec. 28<sup>th</sup>). They have operated out of the Depot for the past 7 of the 10 years they have been in existence. The Depot would be used as a drop-off location for food and goods, and as a storage and repacking facility for distribution of holiday packages for shut-ins and low-income elderly Peninsula residents.

This recognized area charitable program asks that the Council consider waiving or substantially reducing the rental fee (normally \$50 per day) so that money might go to those being served by the program.

This is not a land use specifically called out in the code, and so they request a special use permit.

**C. Linhart made the motion to conditionally approve SUP 2017-10. C. McGuire seconded the motion, 5 Ayes, motion passed.**

**DEPARTMENT HEAD ORAL REPORTS**

**CORRESPONDENCE AND WRITTEN REPORTS**

- LBPVB Monthly Destination Marketing Report for August 2017
- PAA Letter of Thanks
- Building Permit Directory as of October 30, 2017
- Lodging Tax Collections
- Sales Tax Collections
- LBPVB Monthly Destination Marketing Report for September 2017
- Police Chief's Report for October
- IACC Tech Team Notes – Re: Biosolids Plant Funding Options

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Mayor

ATTEST:

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City Clerk





## Warrant Register

Check Periods: 2017 - November - First

I, THE UNDERSIGNED DO HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE MATERIALS HAVE BEEN FURNISHED, THE SERVICES RENDERED OR THE LABOR PERFORMED AS DESCRIBED HEREIN AND THAT THE CLAIM IS A JUST, DUE AND UNPAID OBLIGATION AGAINST THE CITY OF LONG BEACH, AND THAT I AM AUTHORIZED TO AUTHENTICATE AND CERTIFY TO SAID CLAIM.

	Council Member	Council Member	Council Member	Clerk/Treasurer
Number	Name	Print Date	Clearing Date	Amount
57426	Bell, Helen S	11/3/2017	11/7/2017	\$1,579.41
57427	Binion, Jacob	11/3/2017	11/3/2017	\$1,930.36
57428	Bonney, Matthew T	11/3/2017	11/3/2017	\$1,740.18
57429	Booi, Kristopher A	11/3/2017	11/6/2017	\$1,383.48
57430	Caldwell, Tye J	11/3/2017	11/3/2017	\$1,238.84
57431	Cutting, Jeffrey G.	11/3/2017	11/8/2017	\$2,012.70
57432	Ellyson, Susan R	11/3/2017	11/6/2017	\$1,325.09
57433	Fitzgerald, Rick E.	11/3/2017	11/3/2017	\$1,559.42
57434	Gilbertson, Bradley K	11/3/2017	11/6/2017	\$1,469.04
57435	Glasson, David R.	11/3/2017	11/7/2017	\$2,861.44
57436	Goulter, John R.	11/3/2017	11/7/2017	\$1,870.20
57437	Gray, Karen	11/3/2017	11/14/2017	\$166.77
57438	Hanson, Natalie	11/3/2017	11/10/2017	\$266.95
57439	Haskin, Katie R	11/3/2017	11/6/2017	\$1,174.82
57440	Huff, Timothy M.	11/3/2017	11/7/2017	\$1,521.26
57441	Kaino, Kris	11/3/2017		\$1,015.75
57442	Kemmer, Hollie L	11/3/2017	11/7/2017	\$266.95
57443	Kemmer, Larry L	11/3/2017	11/7/2017	\$1,230.85
57444	Kirby, Gary E	11/3/2017	11/3/2017	\$1,295.63
57445	Kitzman, Michael	11/3/2017	11/3/2017	\$2,000.43
57446	Lefor, Joshua M	11/3/2017	11/7/2017	\$1,594.09
57447	Linhart, Steven P	11/3/2017	11/3/2017	\$266.95
57448	Luehe, Paul J	11/3/2017	11/3/2017	\$1,430.54
57449	McGuire, Tina M	11/3/2017	11/8/2017	\$266.95
57450	Melting, Casey K	11/3/2017	11/3/2017	\$1,634.73
57451	Miller, Matt W	11/3/2017	11/7/2017	\$1,242.91
57452	Mortenson, Tim	11/3/2017	11/6/2017	\$2,131.47
57453	Murry, Del R	11/3/2017	11/10/2017	\$266.95
57454	Myers, Ragan S.	11/3/2017	11/6/2017	\$1,471.99

Execution Time: 5 second(s)

Printed By CLB1\HelenB on 11/17/2017 1:53:57 PM  
Register

Number	Name	Print Date	Clearing Date	Amount
57455	Ostgaard, Loretta G	11/3/2017	11/3/2017	\$1,309.83
57456	Padgett, Timothy J	11/3/2017	11/7/2017	\$1,434.00
57457	Parker, Michael T	11/3/2017	11/3/2017	\$1,881.73
57458	Phillips, Gerald S	11/3/2017	11/3/2017	\$436.65
57459	Quitner, Jonathan H	11/3/2017	11/15/2017	\$958.70
57460	Smith, Ariel I	11/3/2017	11/3/2017	\$1,758.79
57461	Tardiff, Donald W	11/3/2017	11/6/2017	\$1,390.61
57462	Williams, David L	11/3/2017	11/8/2017	\$890.69
57463	Wood, Matthew T	11/3/2017	11/6/2017	\$1,404.45
57464	Wright, Flint R	11/3/2017	11/7/2017	\$2,526.16
57465	Zuern, Donald D.	11/3/2017	11/6/2017	\$2,070.31
57466	AFLAC	11/3/2017	11/14/2017	\$426.65
57467	Association of WA Cities	11/3/2017		\$29,764.85
57468	City of Long Beach - Fica	11/3/2017		\$11,916.98
57469	City of Long Beach - FV/H	11/3/2017		\$8,595.59
57470	Council Gift Fund	11/3/2017		Void
57471	Dept of Labor & Industries	11/3/2017		\$2,242.44
57472	Dept of Retirement Systems	11/3/2017		\$14,338.93
57473	Dept of Retirement Systems Def Comp	11/3/2017		\$1,780.00
57474	Massmutual Retirement Services	11/3/2017	11/14/2017	\$475.00
57475	Teamsters Local #58	11/3/2017		\$200.00
57476	Council Gift Fund	11/3/2017		\$60.00
82552	Naselle Rock & Asphalt	11/8/2017	11/13/2017	\$800.00
82553	South Pacific County Technical	11/9/2017		\$2,000.00
82554	Caldwell, Tye	11/13/2017	11/13/2017	\$217.28
82555	Department of Licensing - Firearms Section	11/13/2017		\$18.00
82556	Gray, Karen	11/13/2017		\$43.64
82557	Chinook Observer	11/13/2017		\$104.05
82558	Airgas USA LLC	11/17/2017		\$37.41
82559	Alisco-American Linen Div.	11/17/2017		\$53.31
82560	Astoria Janitor & Paper Supply	11/17/2017		\$314.89
82561	Astoria-Warrenton Area Chamber of Commerce	11/17/2017		\$186.00
82562	Board For Volunteer Firefighters & Reserve Officers	11/17/2017		\$90.00
82563	Bonney, Matt	11/17/2017		\$212.50
82564	Brighter Side Marketing	11/17/2017		\$375.00
82565	Cascade Columbia Distribution CO	11/17/2017		\$2,889.01
82566	CenturyLink	11/17/2017		\$1,869.31
82567	Chevron & Texaco Business Card Services	11/17/2017		\$2,000.00
82568	Chinook Observer	11/17/2017		\$155.39
82569	Dennis Company	11/17/2017		\$757.41
82570	Dept of Ecology	11/17/2017		\$120.00
82571	DriveSavers, Inc.	11/17/2017		\$2,470.00
82572	Ellyson, Sue	11/17/2017		\$31.82
82573	Englund Marine Supply	11/17/2017		\$272.26

Number	Name	Print Date	Clearing Date	Amount
82574	EverBank	11/17/2017		\$227.38
82575	Evergreen Septic Pumping LLC	11/17/2017		\$1,051.38
82576	Hach Company	11/17/2017		\$3,458.10
82577	K & L Supply, Inc.	11/17/2017		\$226.35
82578	L.N. Curtis & Sons	11/17/2017		\$118.80
82579	Neopost USA Inc	11/17/2017		\$500.00
82580	Pacific Art & Office Supply	11/17/2017		\$32.40
82581	Pacific County Sheriffs	11/17/2017		\$965.00
82582	Penoyar, Joel	11/17/2017		\$1,360.00
82583	Powell, Seiler & Co., P.S	11/17/2017		\$1,815.00
82584	Public Utility District 2	11/17/2017		\$7,475.01
82585	Sea Western Fire	11/17/2017		\$307.12
82586	Solutions Yes	11/17/2017		\$273.60
82587	South District Court	11/17/2017		\$3,570.00
82588	Tangly Cottage Garden	11/17/2017		\$604.80
82589	Total Battery & Auto	11/17/2017		\$467.52
82590	U.S. Cellular	11/17/2017		\$86.72
82591	Visa	11/17/2017		\$4,229.26
82592	Wadsworth Electric	11/17/2017		\$320.76
82593	Waterhouse Environmental Services Corp.	11/17/2017		\$11,112.77
82594	Wilcox & Flegel Oil Co.	11/17/2017		\$1,111.61
82595	WILLAPA PAPER SERVICE	11/17/2017		\$350.00
82596	Wirkkala Construction	11/17/2017		\$5,358.15
	Total			\$184,117.52
	Check			
	Grand Total			\$184,117.52





TAB - B





**CITY COUNCIL  
AGENDA BILL**

**AB 17-62**

**Meeting Date: November 20, 2017**

**AGENDA ITEM INFORMATION**

***SUBJECT: Fireworks  
contract for New Year's  
Eve 2017***

***Originator:***

Mayor

City Council

City Administrator

City Attorney

City Clerk

City Engineer

Community Development Director

Fire Chief

Police Chief

Streets/Parks/Drainage Supervisor

Tourism and Events Coordinator

DG

***COST: \$1,500***

Water/Wastewater Supervisor

Other:

***SUMMARY STATEMENT:*** Staff believes the city has had excellent service and a great show in the past and feels the city should move forward with this purchase. Western Display Fireworks can offer a discount and provide more fireworks for the same amount of money if we agree to provide the show prior to them ordering the supplies to make them.

***RECOMMENDED ACTION: Approve and authorize the Mayor to sign.***





FIREWORKS DISPLAY PROPOSAL PRESENTED BY

WESTERN DISPLAY FIREWORKS LTD



City of Long Beach  
New Year's Eve  
December 31, 2017



p.o. box 932 • canby oregon • 97013  
office 503.656.1999 • fax 503.656.6628  
info@westerndisplay.com



## Fireworks Display Proposal Summary

City of Long Beach

Long Beach New Years Eve

December 31, 2017

Your display proposal includes the following services to be provided by Western Display Fireworks, Ltd:

- Provide display liability insurance with sponsors and property owners listed as additional insured
  - \$5,000,000 (per occurrence) general liability
- Prepare the Washington Public Fireworks Display permit application to be approved the local fire authority
- Provide transportation by a properly licensed vehicle and a CDL hazmat driver for all pyrotechnics and equipment to the display site
- Provide \$5,000,000 commercial auto insurance to cover transportation
- Supply all necessary labor to conduct the display including a state certified pyrotechnician, assistant and crew covered under worker's compensation insurance
- Supply all pyrotechnics as listed on the attached detailed proposal
  - Complimentary product has been included in your display for signing the 2016-2018 Multi-Year Contract Addendum. These items include (1) spectacular 24-100 count multi-shot box.
- Provide all necessary mortars and supplies required to pre-load and electrically fire the display



p.o. box 932 • canby • oregon 97013 • office 503.656.1999 • fax 503.656.6628 • [info@westerndisplay.com](mailto:info@westerndisplay.com)



# WESTERN DISPLAY FIREWORKS LTD

## SHOW SCRIPT

Long Beach, City of  
PO Box 310  
Long Beach, WA 98631

Event Date: 12/31/2017  
Proposal #: 17-5413  
Show Name: Long Beach NYE

Quantity	Description
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1	SHOW OPENER
1	1" (105 Shot) Rapid Fire Peacock Lemon & Purple Crossette
1	MAIN SHOW
1	2" (25 Shot) White Strobing World of Color Palm
1	1" (100 Shot) Fanned Twice Crackling Mine & Gold Bombard
1	2" (25 Shot) Red, Green & Purple Wagon Wheel Shell w/ Silver Tail
1	GRAND FINALE 1
1	1.25" (100 Shot) Snow White: Crackling Comet, Crackling Bombard w/ Silver Tail, White Strobe Bombard w/ Silver Tail, Flash Thunder w/ Silver Tail
1	1.25" (100 Shot) Snow White: Crackling Comet, Crackling Bombard w/ Silver Tail, White Strobe Bombard w/ Silver Tail, Flash Thunder w/ Silver Tail
1	MISC SUPPLIES
2	20 Minute Fusee w/ Handle
30	Match Fuse for Packing - By the Foot
6	Squibs - J-Tek12 T Shroud 12' lead
2	Earplugs
2	Safety Glasses
1	1" x 60yd Masking Tape - Roll

## DISPLAY AGREEMENT AND PURCHASE ORDER

**THIS AGREEMENT** ("Agreement") is entered into on this \_\_\_\_\_ day of \_\_\_\_\_, 2017 by and between Western Display Fireworks, Ltd., an Oregon corporation, whose address is set forth above, ("Western") and City of Long Beach, whose address is PO Box 310, Long Beach, WA 98631 ("Sponsor"). Western and Sponsor are sometimes individually referred to as a "Party" and collectively as the "Parties."

In consideration of the mutual terms and conditions set forth herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree as follows:

1. **Proposal.** Western agrees to supply, and Sponsor agrees to pay for, a fireworks display on the following designated date(s) and location: December 31, 2017 from the beach between Bolstad & Syd Snyder Dr, Long Beach, WA 98631, as detailed in Proposal #17-5413, which is attached hereto and incorporated herein by this reference, (the "Display") in accordance with the program approved by both Parties.
2. **Price and Payment Terms.** Total price of ONE THOUSAND FIVE HUNDRED DOLLARS AND NO/100 (\$1,500.00) is due in full on or before December 18, 2017. Interest will accrue at 1½% per month (an annual percentage rate of 18% per annum) on all unpaid amounts from the date on which the payment was due.
3. **Western Duties.** As part of the total price Western agrees to the following:
  - a. To supply all shells and other pyrotechnics listed on the Proposal;
  - b. Mortars, firing equipment and all other required materials necessary to perform its services hereunder;
  - c. Proper delivery, set-up, firing and presentation by pyrotechnic operator and crew covered under workers compensation insurance;
  - d. To remove all equipment and spent pyrotechnic devices and clean up debris from the immediate Display site. Sponsor acknowledges that additional debris may remain in the fallout zone after Western's responsibilities of Display site cleanup have been completed; and
  - e. To comply with all local and federal guidelines and obtain any necessary permits to perform the Display, unless otherwise notes in Sponsor duties.
4. **Sponsor Duties.**
  - a. Sponsor shall comply with all duties as detailed under the Compliance with Laws/Sponsor Responsibilities portion of this Agreement;
  - b. Sponsor to provide at least 3 monitors for security and crowd control beginning @ 11:30pm-12:30am; and
  - c. Sponsor to provide 1 hotel room with two beds for crew lodging the night of the display.
5. **Insurance.** Western agrees to provide, at its expense, commercial general liability insurance coverage in an amount not less than \$5,000,000. If requested in writing, Western shall provide Sponsor with a certificate of insurance within two weeks of the Display. All entities/individuals listed on the certificate of insurance will be deemed as additional insured pursuant to this Agreement.
6. **Indemnification.** Western agrees to indemnify, defend, and hold harmless the Sponsor, its agents and employees, and those entities/individuals listed on the certificate of insurance, from and against all



claims, costs, judgments, damages and expenses, including reasonable attorney fees that directly arise from the performance of the fireworks to the extent that such are occasioned by an act or omission of Western, its agents and employees. Sponsor agrees to indemnify, defend, and hold harmless Western, its agents and employees from and against all claims, costs, judgments, damages and expenses, including reasonable attorney fees that arise from the performance of the fireworks to the extent that such are occasioned by any act or omission of Sponsor, its agents and employees. Each Party agrees to give the other Party prompt notice of any claims. Neither Party shall be responsible for consequential damages.

**7. Compliance with Laws.**

- a. Sponsor Responsibilities: SPONSOR agrees to perform their requirements in accordance with NFPA 1123 OUTDOOR DISPLAY OF FIREWORKS 2014 Edition (National Fire Protection Association) 8.1 General Requirements. The sponsor of the display shall make provisions for fire protection for the display. 8.1.1 The sponsor shall consult with the AHJ and the operator to determine the level of fire protection required. 8.1.2 The following shall apply to crowd control: (1) Monitors whose sole duty is the enforcement of crowd control shall be located around the display site and at other locations as determined by the sponsor. (2) The AHJ and the operator shall approve the provisions for crowd control. 8.1.2.1 Monitors shall be positioned around the display site to prevent spectators or any other unauthorized persons from entering the discharge site. 8.1.2.2 Where required by the AHJ, approved delineators or barriers shall be used to aid in crowd control. 8.1.2.3 Portions of the display site, other than the discharge site(s), shall be permitted to be open to the public prior to the display as long as the provisions of 4.2.2.2 are maintained. 8.1.2.4 Unescorted public access to the discharge site shall not be permitted where pyrotechnic materials are present during the period before the display. 8.1.2.5 The discharge site shall be restricted throughout the display and until the discharge site has been inspected after the display.
- b. Western's Responsibilities: Western shall secure and maintain any and all licenses, permits or certificates that may be required by any regulatory body having jurisdiction over the materials or performance of the services herein contemplated unless otherwise noted above in Sponsor duties. Western shall exercise full and complete authority over its personnel, shall comply with all workmen's compensation, employer's liability and other federal, state, county and municipal laws, ordinances, rules and regulations required of an employer performing such services, and shall make all reports and remit all withholdings or other deductions from the compensation paid its personnel as may be required by any federal, state, county or municipal law, ordinance, rule or regulation. Western is responsible to insure that all materials and services supplied under this Agreement comply with all laws, rules and regulations of the State and the federal government relating thereto.

- 8. Cancellation/Rescheduling by Sponsor.** If the Display is cancelled by the Sponsor after receipt of this signed Agreement but prior to departure from Western's facility, Sponsor agrees to pay 25% of the total price (\$375.00) for restocking and costs incurred. If the Display is cancelled by the Sponsor after departure from Western's facility, Sponsor agrees to pay 50% of the total price (\$750.00). If the Display is cancelled by the Sponsor after the physical show setup is complete, Sponsor agrees to pay 100% of the total price (\$1,500.00). If the Sponsor elects to reschedule the Display for an alternate mutually



agreeable date, Western agrees to facilitate this rescheduling and Sponsor agrees to reimburse Western for new permit and other additional costs associated with this change.

9. **Safety / Weather Forced Cancellation.** Western agrees that it shall be the responsibility of the pyrotechnic operator in charge, acting on Western's behalf or the Authority Having Jurisdiction, to cancel or delay the Display if in the operator's judgment circumstances beyond the control of either Party pose an extraordinary risk to the health and safety of any persons or property within the vicinity of the Display.

If the product has been damaged as an attempt to execute the Display and cannot be safely reused, 100% of the price is due and Western has no further obligation under this Agreement. If the product is intact and reusable, Western agrees to store the product and execute the Display on a mutually agreeable future date. Sponsor agrees to reimburse Western for reasonable costs associated with the rescheduling of the event.

10. **Force Majeure.** Sponsor assumes the risks of weather, strike, civil unrest, terrorism, military action, governmental action, and any other causes beyond the control of Western which may prevent the Display from being safely performed on the scheduled date, which may cause the cancellation of the event for which Sponsor has purchased the Display, or which may affect or damage such portion of the Display as must be replaced and exposed a necessary time before the Display.
11. **Product Performance.** Sponsor recognizes and acknowledges that due to the nature of fireworks, an industry accepted level of 3% of the product used in any display may not function as designed and this level of nonperformance is acceptable as full performance.
12. **Limitation on Damages.** In the event that Sponsor claims that Western has breached this Agreement or was negligent in performing its duties hereunder, Sponsor shall not be entitled to claim or recover monetary damages from Western beyond the amount that Sponsor has paid Western under this Agreement and shall not be entitled to a claim for or recover of consequential damages from Western, including, but not limited to, damages for lost income, business, or profits. Additionally, Western's liability for matters covered by the insurance set forth herein shall be limited to the limits of said insurance.
13. **Time.** Time is of the essence in this agreement. The Parties expressly recognize that in the performance of their respective obligations, each Party is relying on timely performance by the other Party and will schedule operations and incur obligations to third parties in reliance upon timely performances by the other Party and may sustain substantial losses by reason of any failure of timely performance.
14. **Independent Contractor/No Joint Venture.** The Parties agree that Western is an independent contractor, and is not an agent or employee of Sponsor for any purpose. It is further agreed that Western's employees shall be, and remain, the employees of Western and not of Sponsor. Nothing in this Agreement or the actions of Western or Sponsor shall be construed as forming a partnership or joint venture between Sponsor and Western.

15. **Attorney Fees.** In the event that either Party to this Agreement shall enforce any of the provisions hereof by any action at law or in equity, the unsuccessful Party to such litigation agrees to pay to the prevailing Party all costs and expenses, including reasonable attorney fees, incurred therein by the prevailing Party.
16. **Jurisdiction.** This Agreement shall be governed in all respects, whether as to validity, construction, capacity, performance or otherwise, by the laws of the State of Oregon applicable to contracts.
17. **Severability.** In the event a court of competent jurisdiction determines that any provision of this Agreement is in violation of any statute, law, rule, regulation, ordinance or public policy, then the provisions of this Agreement that violate such statute, law, rule, regulation, ordinance or public policy shall be stricken or modified to the extent that such provision no longer violates such statute, law, rule, regulation, ordinance or public policy. All provisions of this Agreement that do not violate any statute, law, rule, regulation, ordinance or public policy shall continue in full force and effect for all purposes. Furthermore, any court order striking or modifying any provision of this Agreement shall modify or strike the provision in as limited a manner as possible to give as much effect as possible to the intentions of the Parties to this Agreement.
18. **Survival.** The terms of paragraphs 5, 6, 12, 15, and 16 shall survive the cancellation or termination of this Agreement.
19. **Entire Agreement.** This Agreement sets forth the entire agreement and understanding between the Parties hereto respecting the matters within its scope and may be modified only in writing signed by both of the Parties hereto.

The pricing and product offered in the Proposal shall remain firm if this Agreement is mutually executed by both Parties on or before November 30, 2017.

Sponsor

Western Display Fireworks, Ltd.

By: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

By: Heather J. Gobet

Its: President

Date: \_\_\_\_\_



TAB - C





**CITY COUNCIL  
AGENDA BILL**

**AB 17- 63**

**Meeting Date: November 20, 2017**

**AGENDA ITEM INFORMATION**

<b>SUBJECT: 2018 Preliminary Budget Public Hearing</b>	<i>Originator:</i>	
	Mayor	
	City Council	
	City Administrator	DG
	City Attorney	
	City Clerk	
	City Engineer	
	Community Development Director	
	Fire Chief	
	Police Chief	
<b>COST:</b>	Streets/Parks/Drainage Supervisor	
	Water/Wastewater Supervisor	
	Other:	

**SUMMARY STATEMENT:** The city is required to have a public hearing regarding the preliminary budget. Anyone from the public is welcome to comment.

**RECOMMENDED ACTION:** *Open the public hearing and allow the public to comment on the 2018 preliminary budget.*





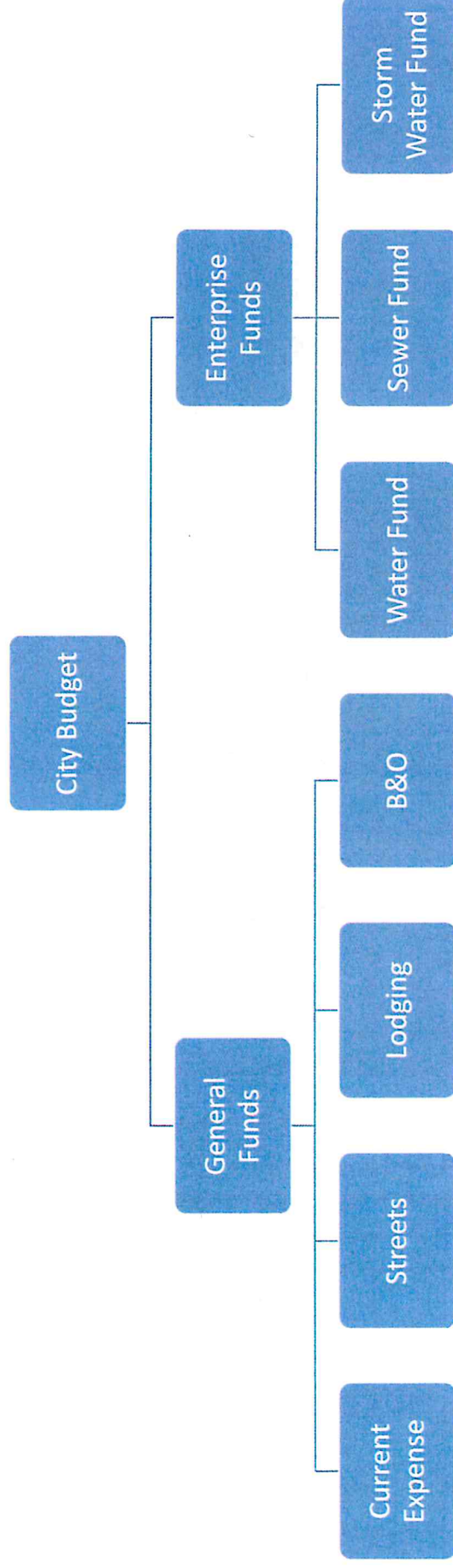
# 2018 Preliminary Budget Hearing

November 20, 2017

# 2018 Budget

- Is there just one city budget?
  - There is just one budget, but it is made up of many different funds.
  - Think of these funds as separate individual checking and savings accounts.
  - In most cases, these funds can't pay for things other funds are supposed to pay for. As an example, the city can't use money from the Water fund to pay for Police.
  - In many cases, individual funds are restricted by state law on what types of things they can purchase.

# 2018 Budget



# General Fund

Departments			
Legislative	Judicial	Finance & Administration	
Law Enforcement	Fire	Building Inspection	
Planning	Parks	Legal, Civil Defense	

# 2018 Budget

## General Fund

### 2016 Example

Assessed Value for Example	\$	200,000.00		
Combined Long Beach Taxes		12.36958	\$	2,473.92
Long Beach Rate	\$	2.367420	\$	473.48
General Fund % Portion				19%
General Fund \$ Portion			\$	355.11
General Fund Breakdown				
Legislative	\$	9.49	\$	40,113
Judicial	\$	18.27	\$	77,276
F & A	\$	36.51	\$	154,394
Legal	\$	4.26	\$	18,000
Facilities	\$	1.77	\$	7,500
Police Department	\$	169.79	\$	718,000
Fire Department	\$	29.69	\$	125,540
Emergency Management	\$	3.35	\$	14,175
Building Inspection	\$	11.95	\$	50,543
Planning	\$	32.83	\$	138,829
Parks	\$	37.21	\$	157,350
	\$	355.11	\$	1,501,720.00
Streets	\$		\$	
Grand Total General Fund & Streets	\$		\$	473.48

The city receives only 19% of total property taxes collected in Long Beach

# Budget Workshop

## Streets & Storm Water

### Fund

#### Storm Water

24 Miles of Streets  
17 Miles of Drainage Lines  
.79 Miles of Open Ditch  
902 Catch Basins  
39 Manholes  
3 Pump Stations

# Streets and Storm Water Funds

- Estimated Collections of New Tax for 2018 is \$80,000.

Streets Needs:		
1 Continue to pave streets in accordance with the six year plan	\$	110,000
2 Stop signs, sign blanks and vinyl	\$	2,000
3 Paint and thermoplastic for curbing, parking lots, and stop bars	\$	5,000
4 Safety Gear, tools, signs/barricades and traffic cones	\$	2,000
5 Schooling/Training/Certifications	\$	3,500
6 Chainsaw	\$	500
	\$	123,000
Future Streets Needs:		
1 Replace 60 Aluminum light poles - 2021	\$	180,000
2 Utility truck	\$	43,000
3 Backhoe	\$	90,000
	\$	313,000

# 2018 Budget

## Streets & Storm Water Funds

### Transportation Benefit District Early Results





# 2018 Budget

## Streets & Storm Water Funds

### 1. STORM AND SURFACE WATER RATES AND CHARGES.

Rates and charges.

- A. The rates and charges set forth in this chapter shall be considered uniform rates and charges for the following uniform rates per class of customers or service furnished by the system:

On and after December 20, 2015, and thereafter effective on the first day of January for each and every succeeding year the rates shall be as follows:

	2012	2014	2015	2016	2017	2018
Residential	\$9.40	\$9.87	\$9.97	\$10.97	\$12.07	\$13.28
Commercial	\$9.40	\$9.87	\$9.97	\$10.97	\$12.07	\$13.28

New rate of \$13.28 or \$1.21 per month, totals \$14.52 per year

# 2018 Budget Workshop

## Water Fund

48.5 Miles of Line

481 Valves

175 Hydrants

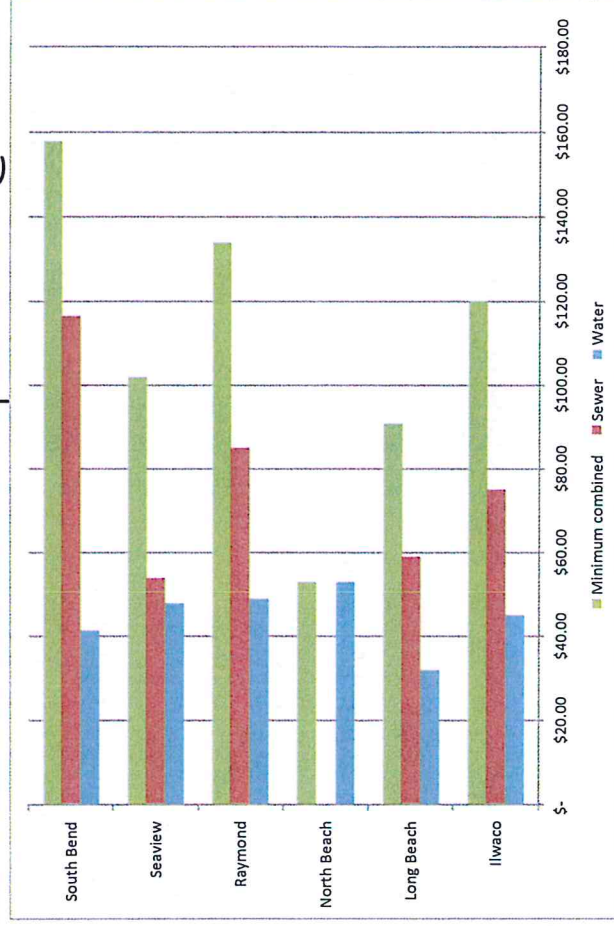
2,000 Meters, 12,000 Reads for Billing

183 Move Outs

248+ Locates

# 2018 Budget

## Water Fund – 2017 Rate Comparison @ 400 Cubic Feet



Water

Ilwaco	Long Beach	North Beach	Raymond	Seaview	South Bend
\$ 44.10	\$ 29.09	\$ 51.29	\$ 45.00	\$ 43.64	\$ 41.45

Long Beach could raise water rates \$9.45 or 29% and still be the lowest.  
Rate increase as proposed is \$3.20 per month; \$38.40 per year.

# 2018 Budget

## Water Fund

### Major Purchases:

Item	Budget
Water Comp Plan	\$65,000
Backflow & Water Efficiency	\$20,000
Wireless Water Meter System	\$100,000
TOC Analyzer	\$23,500
Pond Liner	\$20,000
Storage Building Extension	\$50,000
Sinking Fund Contribution	\$40,000

\* All these are in the budget at this time.

# 2018 Budget Workshop

## Sewer

15.46 Miles of Sewer Line

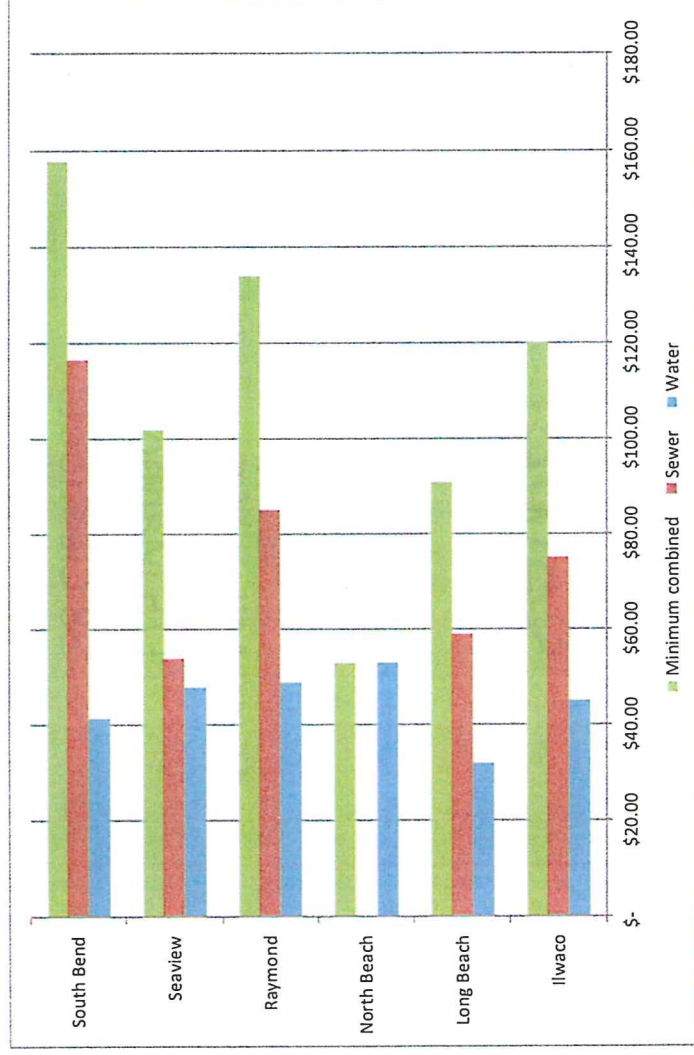
115 Manholes

88 Cleanouts

7 Lift Stations

# 2018 Budget

## Sewer Fund



Would be \$10.96 higher than Seaview and \$10.15 less than Ilwaco.  
 Rate increase as proposed is \$5.91 per month; \$70.92 per year.



# 2017 Budget

## Sewer Fund

Future purchases and improvements:

Wastewater				
Sludge Site (Site Logging/ Stump Removal/ New Fencing/ Gate at Site)		\$58,000.00	2018	Rates
Lift Station Plumbing upgrades to 5 Stations		\$40,000.00	2018-2021	Rates
Manhole Lining		\$10,000.00	2017	Rates
Wastewater Plant				
BioSolids Engineering and Construction		\$1,150,000.00	2018	DOE / PWTF Low Interest Loans / Rates
Biosolids Plant Completion		\$6,350,000.00	2019	DOE / PWTF , Rates & Interlocal Agreement

# 2017 Budget

## Sewer Fund

Bottom Line Cost Increase to live in the city:

Department	Monthly Increase	Annual Increase
Water	\$3.20	\$38.40
Sewer	\$5.91	\$70.92
Storm Water	\$1.21	\$14.52
Total:	\$10.32	\$123.84

TAB - D







**CITY COUNCIL  
AGENDA BILL  
AB 17-64**

**Meeting Date: November 20, 2017**

AGENDA ITEM INFORMATION		
<b>SUBJECT: Setting Property Tax Rate for 2018 collections</b>	<i>Originator:</i>	
	Mayor	
	City Council	
	City Administrator	DG
	City Attorney	
	City Clerk	
	City Engineer	
	Community Development Director	
	Fire Chief	
	Police Chief	
<b>COST: N/A - Revenue</b>	Streets/Parks/Drainage Supervisor	
	Water/Wastewater Supervisor	
	Other:	
<b>SUMMARY STATEMENT:</b> The preliminary budget has been prepared with a 1.0% increase in property taxes, plus any new construction, banked amount and annexations. The amount of increase for 2018 is \$11,930.00.		
<b>RECOMMENDED ACTION:</b> Approve resolution 2017-07 setting property tax rates.		



## **RESOLUTION 2017-07**

### **A RESOLUTION OF THE CITY OF LONG BEACH, WASHINGTON, SETTING THE 2018 PROPERTY TAX LEVY FOR COLLECTION IN 2018.**

**WHEREAS**, the City of Long Beach has met and considered its budget for the calendar year 2018; and

**WHEREAS**, the cities actual levy amount from the previous year was \$620,526; and,

**WHEREAS**, the population of the city is less than 10,000; and now, therefore,

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LONG BEACH, WASHINGTON**, that an increase in the regular property tax levy is hereby authorized for the levy to be collected in the 2018 tax year. The dollar amount of the increase over the actual levy amount from the previous year shall be \$0.00 which is a percentage increase of 0.00% from the previous year. This increase is exclusive of additional revenue resulting from new construction, improvements to property, newly constructed wind turbines, any increase in the value of state assessed property, any annexations that have occurred and refunds made.

This would bring the city up to the highest available due to banked capacity last year.

**Passed** this 20<sup>th</sup> day of November 2017.

Ayes              Nays              Absent

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MAYOR

ATTEST:

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City Clerk

## Levy Certification

In accordance with RCW 84.52.020, I, David Glasson, City Administrator for the City of Long Beach, do hereby certify to the Pacific County legislative authority that the Council of the City of Long Beach requests that the following levy amounts be collected in 2018 as provided in the city's budget, which will be adopted following a public hearing held on December 4, 2017.

Regular Levy: \$613,900.

---

City Administrator

---

Date

TAB - E







**CITY COUNCIL  
AGENDA BILL  
AB 17-65**

**Meeting Date: November 20, 2017**

**AGENDA ITEM INFORMATION**

**SUBJECT:** Case No. DR  
2017-25; Design Review,  
Additional Hotel Rooms  
and Spa

*Originator:*

Mayor

City Council

City Administrator

City Attorney

City Clerk

City Engineer

Community Development Director

AS

Fire Chief

Police Chief

Streets/Parks/Drainage Supervisor

**COST:** N/A

Water/Wastewater Supervisor

Other:

**SUMMARY STATEMENT:** Brady & Tiffany Turner have applied for the construction of 6 additional hotel rooms and spa, including an indoor pool on their property on 11<sup>th</sup> St. Southwest (Inn at Discovery Coast property). The property is in SR3 zoning which is intended for itinerant lodging and complimentary accessory uses. This decision must come from Council per 12-10-5(B)(3)(b) as the proposed building is over 6,000SF Please see the attached staff report, application and diagrams.

**RECOMMENDED ACTION:** Review and decide whether to approve with conditions, or deny the application.



**City of Long Beach**  
**Department of Community Development**

**STAFF REPORT**

**TO:** Long Beach City Council  
**CASE No.:** DR 2017-25  
Addition of 6 hotel rooms, spa and pool in the S3R Zone  
**APPLICANT:** Adrift Hotels, Inc.  
**SITE ADDRESS:** 421 11<sup>th</sup> Street Southwest; APN 10112122338  
**AUTHORITY:** Design Review by City Council Pursuant to  
Section 12-10-5(C), Long Beach City Code  
**DATE:** November 8, 2017

---

Pursuant to 12-10-5(C) of the Long Beach City Code the City Council conducts design review for commercial additions where the resulting building has a gross floor area of more than six thousand (6,000) square feet.

**BACKGROUND**

The applicant owns and operates the Inn at Discovery Coast and the Adrift Hotel. The owners are seeking approval for an additional hotel/spa building on the same lot as the current Inn at Discovery Coast. The new construction consists of a bottom floor housing an indoor pool, three restrooms, waiting room, pedicure room, four facial/massage rooms, and an outdoor sauna and patio. The upper floor will offer six additional hotel rooms.

The Inn at Discovery Coast is located at the western end of 11<sup>th</sup> Street Southwest in Long Beach. It is located on an approximately 134,500 square foot (SF) parcel, APN 10112122338. This lot trends east-west along 11<sup>th</sup> Street Southwest. A building complex of 3,120 SF already exists on the site, which houses a hotel. The subject property is located in the S3R zone, where design review is required for commercial additions.  
*Location map attached.*

The applicant requests approval of DR 2017-25, which proposes the following:

1. Construct a building at the eastern end of the existing building to house the additional rooms/spa. This building would have the following characteristics:
  - 1.1. It would be 80' east-west and 34' north-south; the upper floor would consist of 2,729 SF, the first floor 2,629 SF, and the patio 960 SF, for a total gross floor area of 6,318 SF.
  - 1.2. A shed roof with 4:12 pitch and composition cladding

- 1.3. Board and Batten siding on the bottom portion and lap siding above the belly band
- 1.4. Vinyl and aluminum windows
- 1.5. A roll-up door located on the east-facing wall and two on the north side of the building
- 1.6. Several large planters and shrubs at the base of the new building
2. Galvanized metal around the belly band
3. Addition of a covered, fenced patio at the western end of the building

## PROCEDURAL INFORMATION

**Authorizing Ordinances:** Long Beach City Code Title 12, Zoning Regulations, **Section 12-10-5(B)(3)(b)**. More specifically as follows:

Review Procedure; Item (B): Planning Commission review, (3) Commercial Development, (b) Additions greater than twenty percent (20%) of the existing floor area or four hundred (400) SF, whichever is less, resulting in a building with a gross floor area of not more than six thousand (6,000) SF.

Review Procedure; Item (C): City Council Review: The City Council shall review and act upon any design review application not included in subsections A and B of this section.

The applicant requests an addition that will result in a building with a gross floor area exceeding six thousand (6,000) SF. Therefore, design review and final action are conducted by the City Council.

## ANALYSIS

Below are relevant sections of the Long Beach City Code. Breaks in sequencing occur where sections of the code that are not relevant to this proposal have been omitted.

### Permitted Uses

**Section 12-8D-2** sets forth permitted uses for the S3R zone, which include the following:

1. Itinerant lodging, i.e. hotels and motels, twenty-five (25) or fewer lodging units and *accessory uses or structures* fall under: Swimming pools, hot tubs, tennis courts and similar facilities for the use of guests and personal services, such as beauty salons and day spas, complimentary to the principal use

*The project proposes to add six additional rooms which would bring the property total to 16, still well under the 25-room limit. The bottom portion of the building that will house the pool and spa are complementary to the primary use of the land which is a hotel/inn. The project as proposed conforms to code.*

---



## **Standards**

**Section 12-8D-4** sets forth standards in the S3R zone:

**A.1. Lot Size/Lot Area:** The minimum lot size shall be ten thousand (10,000) square feet.

*The applicant proposes an addition be constructed on a parcel that is approximately 134,500 SF in area. The project as proposed conforms to code.*

---

**A.2. Lot Coverage:** No more than seventy-five percent (75%) of any lot shall be covered by structures and/or impermeable surfaces.

*As this property is so large, the impervious cover, including this addition, only amounts to roughly 20% of the lot. The project as proposed conforms to code.*

---

**A.3. Setback Requirements:** None, except as may be required through design review.

*The proposed projects does not include setbacks as result of avoiding wetland impacts, as currently designed the project would only impact wetland buffers. See attached wetland maps for reference.*

*The project as proposed conforms to code.*

---

**B.1. Building Height:** The maximum height of the building shall be fifty-five (55').

*The new addition portion of the project as proposed would be twenty-nine feet (29') in height. The project as proposed conforms to code.*

---



**D. Parking:** As provided for in Chapter 12 of this title.

**Section 12-2-2(A) Off Street Parking:** Motels, hotels, itinerant condominiums, timeshares requires 1 per unit, plus 1 per each employee and 2 for a manager's unit

*The project as proposed would include the six additional rooms, creating six parking spaces. The owners estimate that this facility will employ roughly four new employees, thus adding another four parking spaces. As for the pool and sauna, that will be exclusively for hotel guests and parking has already been addressed. The massage tables (four) and pedicure chairs (two) will be available for the public upon request, adding another six parking spaces. This brings the required parking to 16 spaces, addressed on site. The project as proposed shows 15 spaces; the applicant must provide the required 16.*

---

**E. Design Review:** All new construction, additions, and exterior alterations shall be subject to design review.

*The applicants have made a complete submittal for design review in accordance with City Code. The project as proposed conforms to code.*

---

**F. Landscaping:** Chapter 13 of the zoning code defines landscaping requirements for the S3 zone as follows:

**12-13-1(C): Required Landscaping in all Districts, Landscape Materials:** Required landscaping shall be predominantly native or plant materials suited to the coastal setting. Consideration should be given to the appearance of the landscaping in all seasons. Landscaping plans shall be designed to conserve and make efficient use of water. Plant sizes shall be used that will best ensure their survival, and to provide coverage within two (2) years. Deciduous trees shall have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees shall be a minimum of six feet (6') tall at time of planting. Ground cover shall be used to fill in between larger plants; mulch such as river rock or bark may be used only if approved as part of the overall landscaping plan and shall be limited. Land disturbed by development activities shall be revegetated at least to its pre-development condition.

**12-13-5: S3 Shoreline Resort District:** A. New development or additions and alterations that have a remodeling value with fifty percent (50%) of the existing structure in the S3 zone shall provide five square feet (5 SF) of landscaping for each one foot (1') a street frontage along all property lines abutting public rights-of-way. All required landscaping shall be located within twenty feet (20') of the property line abutting the street. Landscaping required by section 12-13-1 of this chapter may be counted towards requirement. Required landscaping shall be consistent of shall consist of natural plant materials, or softscape. Plant material shall complement the natural setting.

*The proposed project includes large planters and shrubs with plantings consistent with other existing landscaping on the Adrift and Inn at Discovery Coast site. This will have to amount to roughly 400 SF of accumulated landscaping. This will be a condition of approval.*

---

### **Design Criteria for the S3R Zone**

**Section 12-10A-1** sets out the intent of and specific design criteria for the S3R zoning district, among others. Following are the relevant sections of the municipal code; a break in the sequencing occurs where sections that are not relevant to this proposal have been omitted.

**A. Intent:** The intent of the S3 zone is to create an early twentieth century seashore atmosphere, provide an attractive compact retail core to stimulate foot traffic, and to promote tourism. Common architectural details include false fronts, marquees, cedar shingles and ornate seashore detailing. A diversity of building fronts is to be encouraged, and simple replication is to be discouraged.

*The project as proposed reflects to the extent practicable, the Early Seashore architectural theme well in its use of lap siding and accent material, and cedar window trim. The architecture cannot deviate completely from what already exists on the site, but this project attempts to use some materials similar to existing and introduce new materials from this proposed building to the existing structures, "tying them together" visually. These additions of galvanized metal and lap siding tie this site to the adjacent Adrift site, located to the northwest. The project as proposed generally conforms to code.*

---

**B1. Roofs:** A roof pitch of 5:12 or greater is required. The approving authority may allow a shallower pitch or a flat roof on commercial or mixed-use buildings where the pitch of the roof is concealed from the primary street frontage by a false front that extends across



at least fifty percent (50%) of the width of the building's street frontage. Shallower roof pitches on projecting features such as bays and porches may be permitted where the form of the elements is complementary to the overall form and character of the building.

*The project as proposed has a roof pitch of 4:12, which does not conform with this section. The purpose for this shallower pitch is to conform to the other buildings on-site and to the north. The Council can either grant an exception and allow the 4:12 pitch roof or require that the applicant conforms to code with a 5:12 pitch.*

---

**B2. Wood Siding:** A minimum of eighty percent (80%) of the building's total exterior siding exposure shall be cedar shingle, lap or clapboard siding with an exposure not to exceed eight inches (8"), or cedar shake with a maximum reveal of fourteen inches (14"). Board and batten siding may also be used. The use of glass for window displays is encouraged, and shall be counted toward the wood siding requirement. Cement board siding that is similar in appearance to permitted siding materials shall be allowed. Other construction methods, including sheet siding without battens, are prohibited.

*As proposed, the building would have board and batten siding on the bottom portion, and a galvanized metal belly band and lap siding on the upper portion. The project includes a glass front door and three (3) large roll-up garage doors. The project as proposed conforms to code.*

---

**B3. Other Materials:** If used, not more than twenty percent (20%) of the building's total exterior siding exposure may be materials other than those listed in subsection B2 of this section. Materials that may be used include masonry (stone, brick or split-faced block), sheet or corrugated metal, or other styles of wood siding. Sheet siding shall not be used, except when battens are applied. Materials should be used as accents to highlight the form and architectural details of the building. Cement board siding that is similar in appearance to permitted accent materials shall be allowed.

*As proposed, the project would include not more than 20% of galvanized metal accents. The project as proposed conforms to code.*

---

**B4. Finishes:** Natural, painted or stained finishes are permitted.

*The project as proposed includes cement-based lap siding painted gray, and window and door trim left natural (cedar). The project as proposed conforms to code.*

---

**B5. Trim:** Trim should be provided around all windows, doors and to accent the architecture of the building. Trim should be painted in a contrasting color, but may be left unfinished if the exterior siding material is also unfinished.

*The project as proposed includes natural trim around all windows and doors. The project as proposed conforms to code.*

---

**9. Roof Ridge:** Roof Ridge: One vertical change in elevation of a minimum of three feet (3') shall occur in every fifty foot (50') run of roof.

*The project as proposed includes one vertical change in elevation of the roof run of 2'. The project as proposed does not conform to code.*

---

**9. Screening:** Trash receptacles and ground-placed HVAC units shall be screened from public view by landscaping, fencing, or other appropriate method. HVAC and exhaust units placed on flat roofs may be screened by a false front. HVAC and exhaust units placed on a roof of a 5:12 or steeper pitch are not required to be screened.

*This isn't addressed in the proposal but will be a condition of approval if so needed.*

---

**B11. Landscaping:**

a. Landscaping shall be used where necessary to mitigate the height, bulk, or scale of buildings.

b. Landscaping or landscaped berms shall be used to partially screen parking areas from view from adjacent streets or building occupants. Landscaping shall also be used to screen commercial uses from the view of adjacent residences.

c. Any building not built to the street line shall provide landscaping between the building and the street. Hardscape areas such as patios may be a part of the landscaping, provided planters are included in the design and the space is designed as an outdoor amenity.

d. Plant materials shall include grasses, shrubs, trees and other plant materials appropriate to the coastal setting. Along Pacific Avenue and Ocean Beach Boulevard, landscaping should be used to provide visual interest for pedestrians. In the shoreline areas, plants shall complement the natural dune setting.

*See discussion above. This would be a condition of approval.*

---

**B13. Orientation:** The primary entrance of a commercial building shall be clearly visible from the street.

*The property fronts 11<sup>th</sup> Street Southwest, and that is where the primary entrance will be. The project as proposed conforms to code.*

---

## **FACILITIES AND INFRASTRUCTURE**

**Water:** The property is served by City water.

**Sewer:** The property is served by City sewer.

**Access:** The property is accessed directly from and 11<sup>th</sup> Street Southwest.

## **STAFF RECOMMENDATION**

Staff provides the following information in support of the City Councils' independent consideration and approval or denial of Case No. DR 2017-25. Staff recommends **CONDITIONAL APPROVAL**, based on the design as submitted, and subject to the following findings and conditions:

### **Findings:**

1. The proposal with conditions as identified in this staff report complies with the Comprehensive Plan and other adopted City policies;
2. The proposal with conditions as identified in this staff report meets the requirements of Title 12, Zoning Ordinance, of the City of Long Beach Municipal Code;
3. The proposal with conditions as identified in this staff report satisfies the criteria and purposes of Title 12, Chapter 10 – Design Review Criteria;



4. The proposal with conditions as identified in this staff report is consistent with the Design Guidelines for the City of Long Beach.

**Conditions:**

1. The structure shall be clad in cement-based lap siding and board and batten comprising a minimum of 80% of the cladding, plus galvanized metal accents comprising a maximum of 20% of the cladding. The applicant's builder shall submit samples of any cement-based product to the City for prior approval.
2. Siding shall be painted to match existing, trim shall be natural to match existing, and accents shall match existing.
3. The site must have roughly 400 SF of landscaping, preferably between the building and 11<sup>th</sup> Street. This can consist of natural grasses, plants and planters at the base of the building.
4. The roof run change in elevation must be at least 3' in order to be in compliance with Section 12-10A-1, Section B6.
5. A total of 16 parking spaces must be provided. Occupancy will not be granted until a minimum of 16 parking spaces are provided.
6. No building permit shall be granted until a Shoreline Substantial Development Permit and Wetland Buffer Mitigation are obtained by the applicant.
7. No building permit shall be granted until utilities, including a stormwater plan, are engineered and approved by the City's engineer.
8. Trash receptacles and ground-placed HVAC units shall be screened from public view by landscaping, fencing, or other appropriate method. HVAC and exhaust units placed on flat roofs may be screened by a false front. HVAC and exhaust units placed on a roof of a 5:12 or steeper pitch are not required to be screened.

Attachments:    Location map  
                     Application, including elevations  
                     Taxsifter information







## APPLICATION FOR DESIGN REVIEW

Return to Long Beach City Hall, 115 Bolstad Avenue West, PO Box 310, Long Beach, WA 98631

### APPLICANT INFORMATION

Name Brady Turner  
Mailing Address PO BOX 36  
Seaview, WA 98644

Telephone 503-298-7916  
Fax \_\_\_\_\_  
E-mail brady@adrifftotel.com

### PROPERTY OWNER INFORMATION (if different)

Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_  
Fax \_\_\_\_\_  
E-mail \_\_\_\_\_

### PROJECT INFORMATION

Site Address 421 114th St SW Long Beach, WA Zoning S3R  
Cross Street(s) \_\_\_\_\_

APN: 10112122338

### PROJECT TYPE (Check one in each column)

- |  |  |
|--|--|
| <input type="checkbox"/> Single Family Residential | <input checked="" type="checkbox"/> New Construction |
| <input type="checkbox"/> Multi-Family Residential  | <input type="checkbox"/> Addition                    |
| <input checked="" type="checkbox"/> Commercial     | <input type="checkbox"/> Alteration                  |
| <input type="checkbox"/> Fence/Accessory Structure | <input type="checkbox"/> Amendment to prior approval |

PROJECT DESCRIPTION NEW ROOMS & SPA AREA FOR THE INN @ BROOKLYN COAST.

### CHECKLIST

Provide 1) a completed application; 2) a site plan, 3) a landscape plan, 4) drawings showing each elevation. Drawings must be to scale and on standard-sized sheets. If larger than 11" x 17", 8 sets of drawings must be submitted. The following information must be shown on the plans and also described here. Where possible, provide samples of materials and colors

#### SITE PLAN: drawn at 1" = 10' or 20'; include a north arrow

Lot Coverage (total %, all buildings and impervious surfaces) ≈ 3% (VERY LARGE LOT)  
Setbacks: Front 0 Rear 0 Side(s) 0

#### ELEVATION DRAWINGS: drawn at 1/8" or 1/4" = 1'

Building Height <u>28'</u>	Roof Pitch <u>4:12</u>
Type of Roof Covering <u>Comp</u>	Type of Siding <u>hardy lap + galv-alum</u>
Type of Windows <u>Vinyl &amp; aluminum</u>	Type of Doors <u>aluminum + vinyl</u>
Type of Fences <u>Cedar</u>	
Proposed Color(s) and Finish <u>Grey</u>	
Proposed Trim Color(s) <u>Cedar</u>	

#### LANDSCAPE PLAN: may be included on the site plan

Location and Type of Groundcover MIN. REQUIRED PARKING, OUTDOOR PATIO, EXIST DUNE  
Location, Type and Quantity of Shrubs and Trees SEE SITE PLAN FOR APPROX LOCATION  
OF EXISTING DUNE VEGETATION

APPLICANT SIGNATURE [Signature]

DATE 11/03/17

OWNER SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

Office Use Only

Received by  
Date 11/5/2017

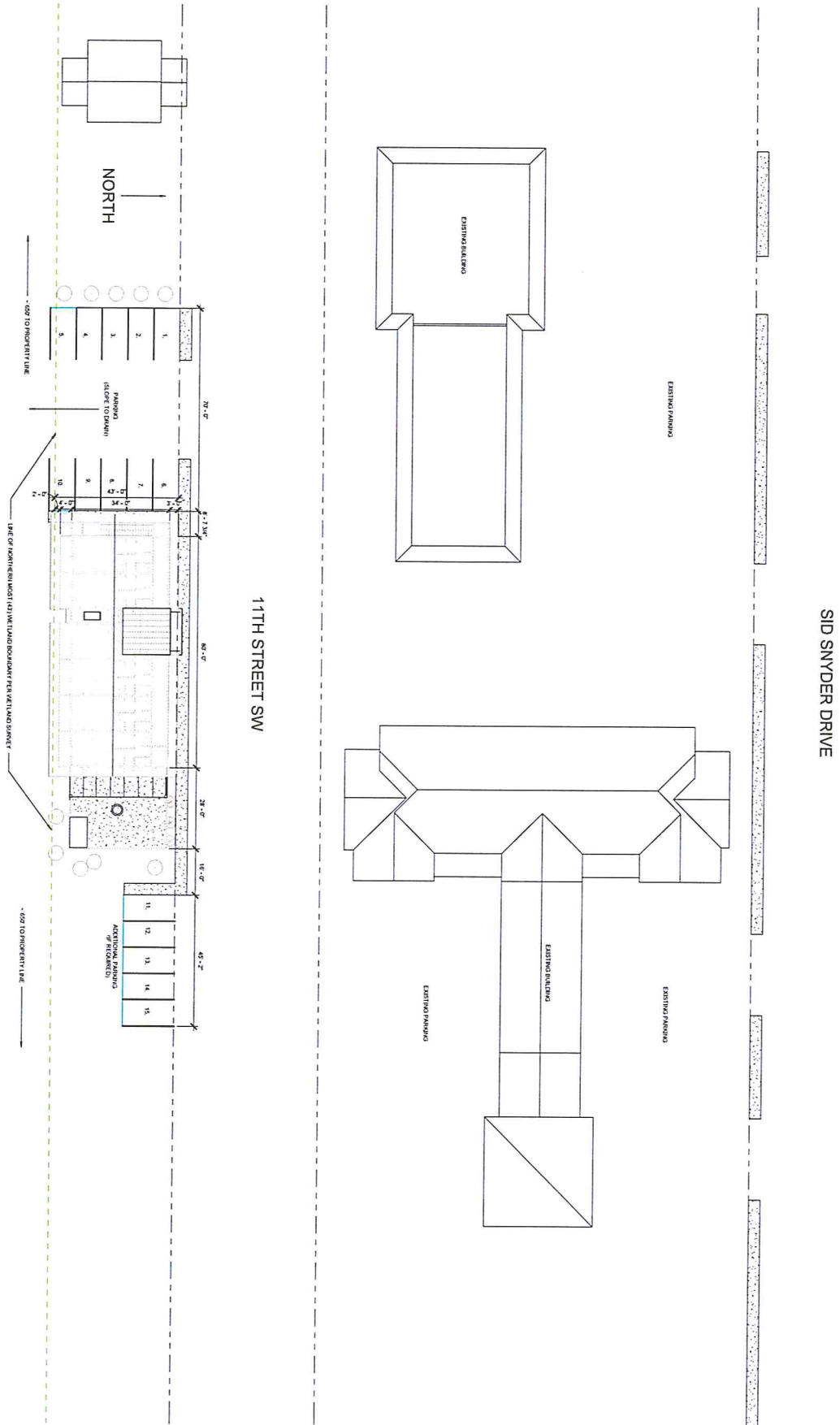
Project No. DR 2017







① SITE PLAN  
1/16" = 1'-0"



A1.0  
SITE PLAN

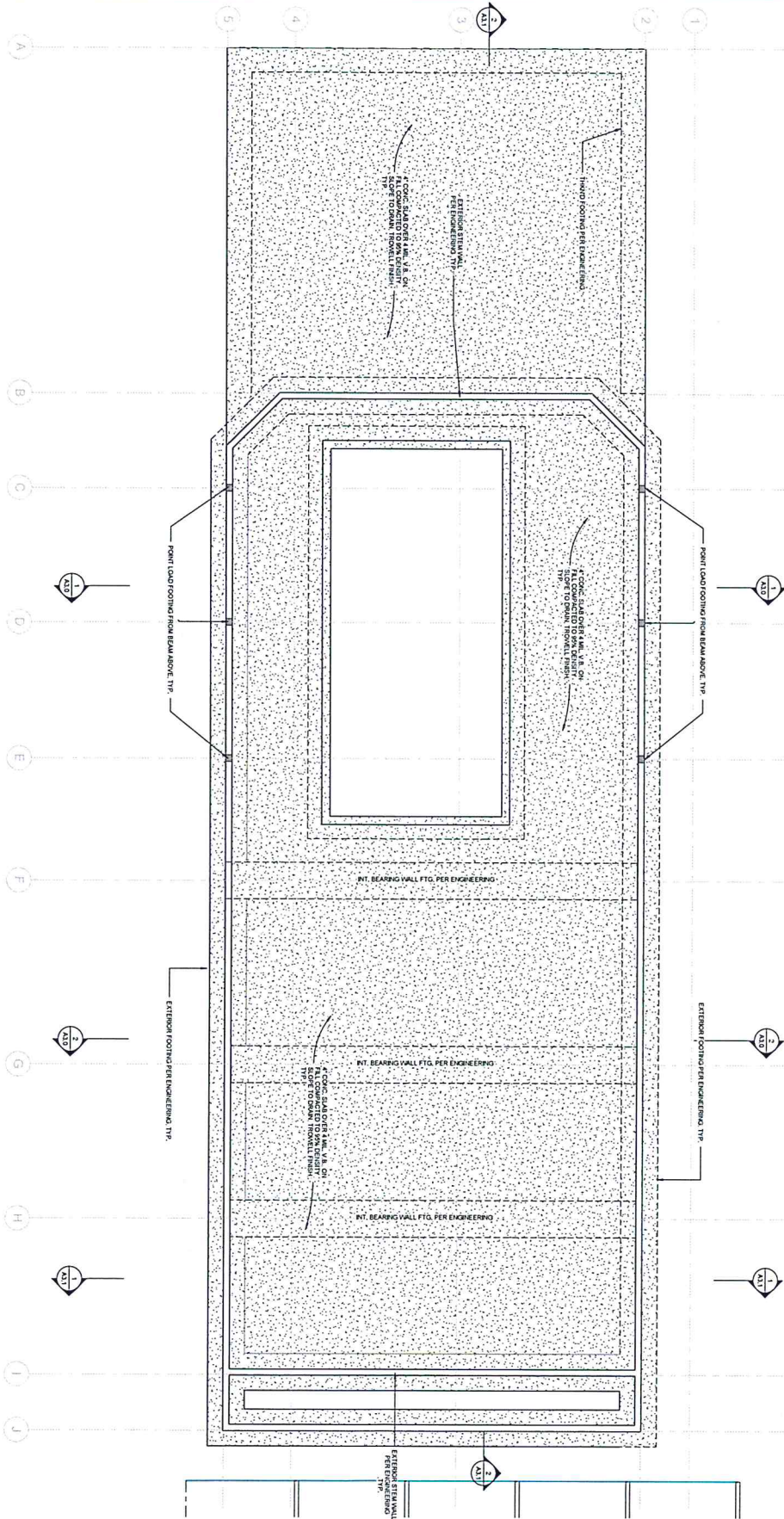
SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST  
**BRADY & TIFFANY TURNER**  
421 11TH ST SW, Long Beach, VA 24631

NO.	DESCRIPTION	DATE

THIS SET PRINTED ON: 11/15/2017 10:31:42 AM

**EFA**  
architect | builder

01 FOUNDATION PLAN  
 1/8" = 1'-0"



A2.0  
 FOUNDATION PLAN

SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST  
**BRADY & TIFFANY TURNER**  
 421 11th St SW, Long Beach, VA 24631

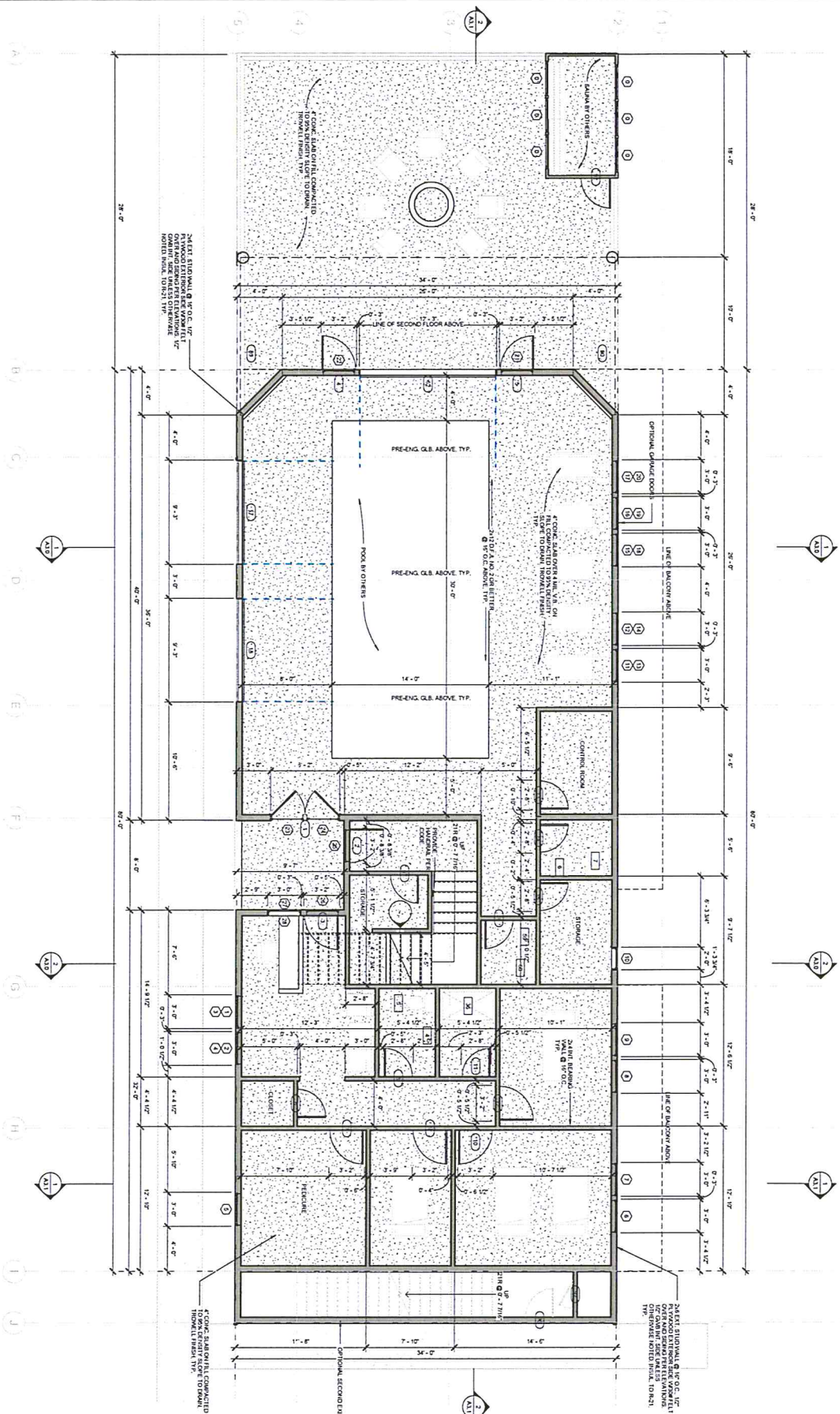
NO.	DESCRIPTION	DATE

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01-FIRST FLOOR PLAN



A2.1  
FIRST FLOOR PLAN

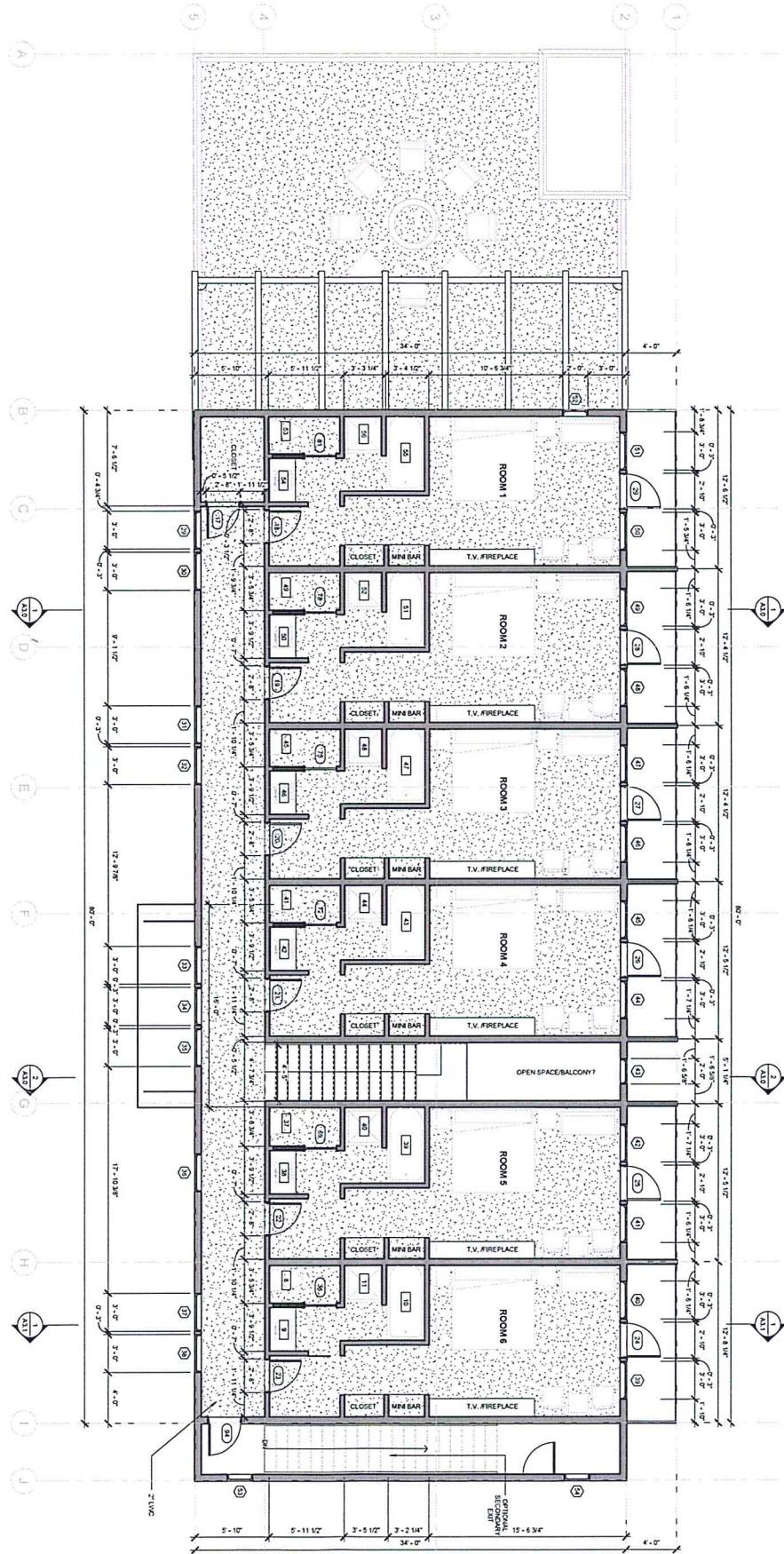
SPA & ADDITIONAL ROOMS FOR BIN @ DISCOVERY COAST  
**BRADY & TIFFANY TURNER**  
 421 11TH ST. S.W., Long Beach, WA 98501

NO.	DESCRIPTION	DATE

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02-SECOND FLOOR PLAN  
1/4" = 1'-0"



A2.2  
SECOND FLOOR PLAN

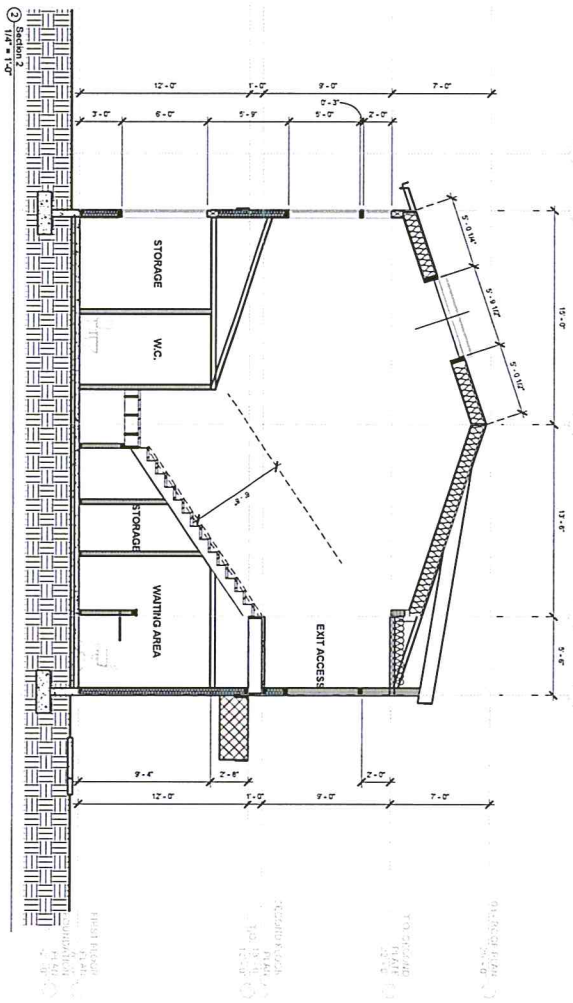
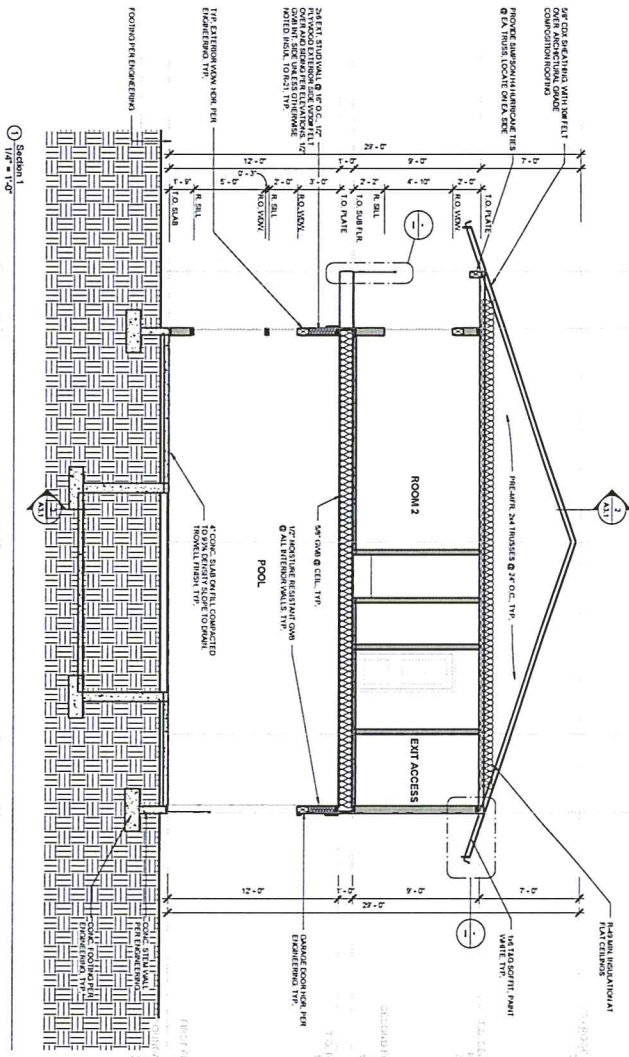
SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST  
**BRADY & TIFFANY TURNER**  
421 11th St SW, Long Beach, VA 56531

NO.	DESCRIPTION	DATE

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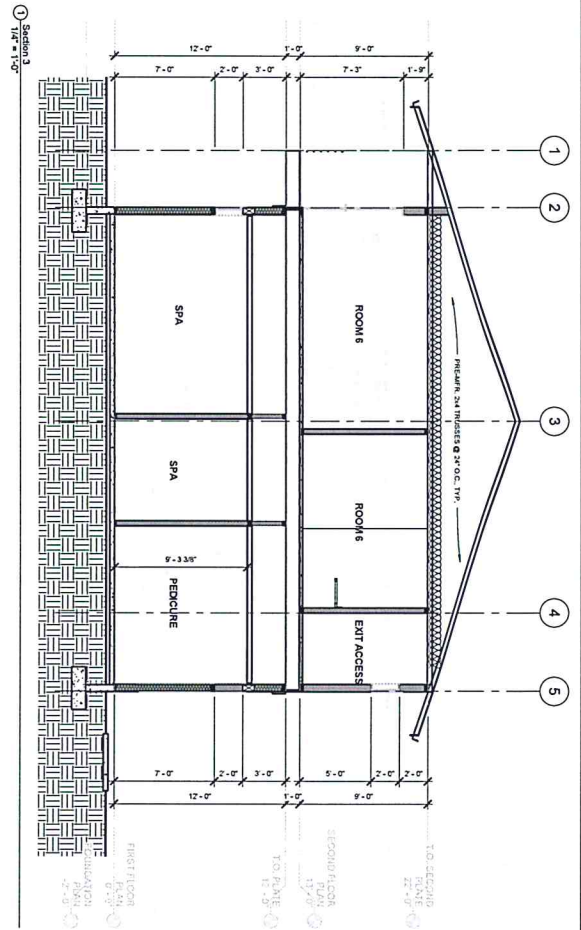
A3.0  
SECTIONS

SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST  
**BRADY & TIFFANY TURNER**  
 421 11th St SW, Long Beach, VA 20631

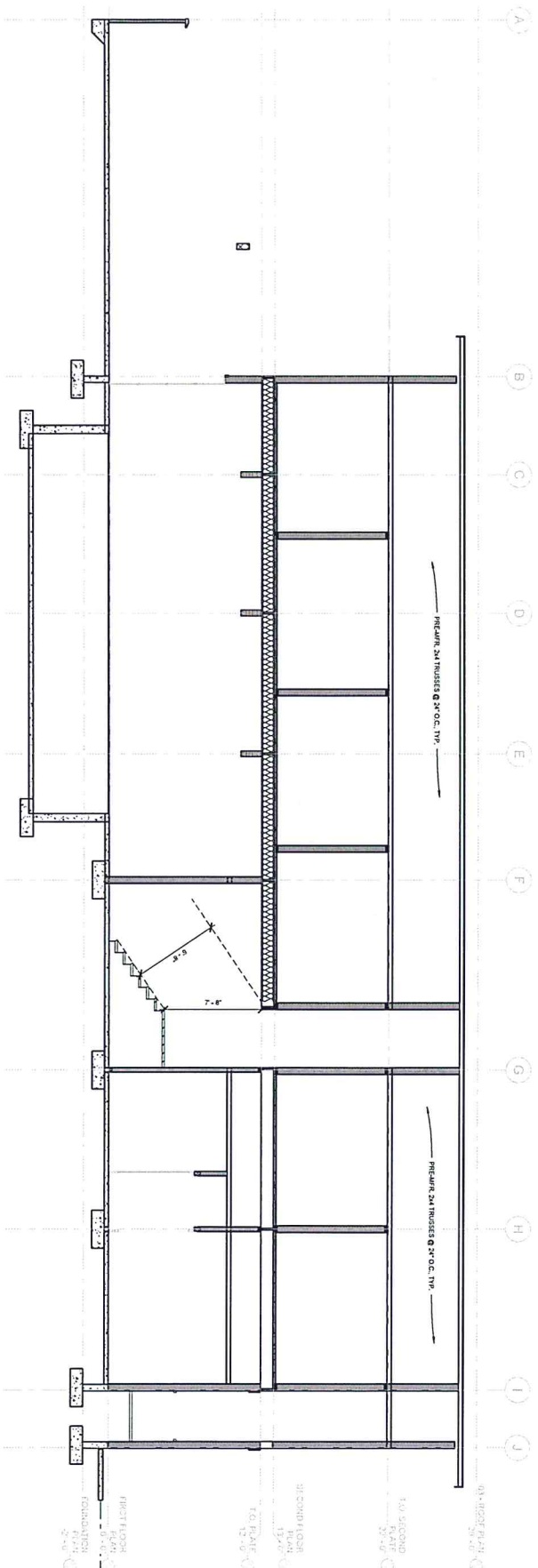
NO.	DESCRIPTION	DATE

THIS SET PRINTED ON: 11/15/2017 10:31:53 AM

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 architect | builder



Section 4  
1/4\"/>



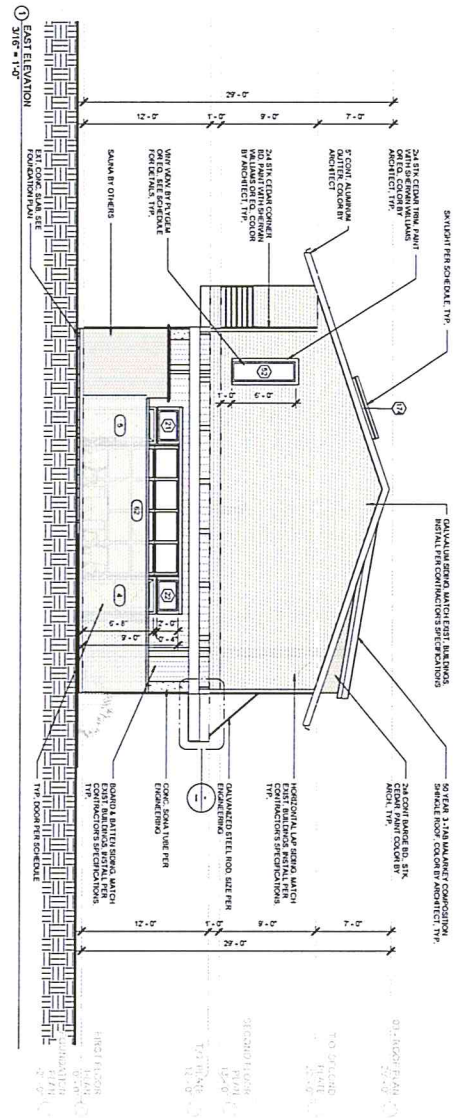
A3.1  
SECTIONS

SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST  
**BRADY & TIFFANY TURNER**  
 421 11th St SW, Long Beach, VA 96531

NO.	DESCRIPTION	DATE

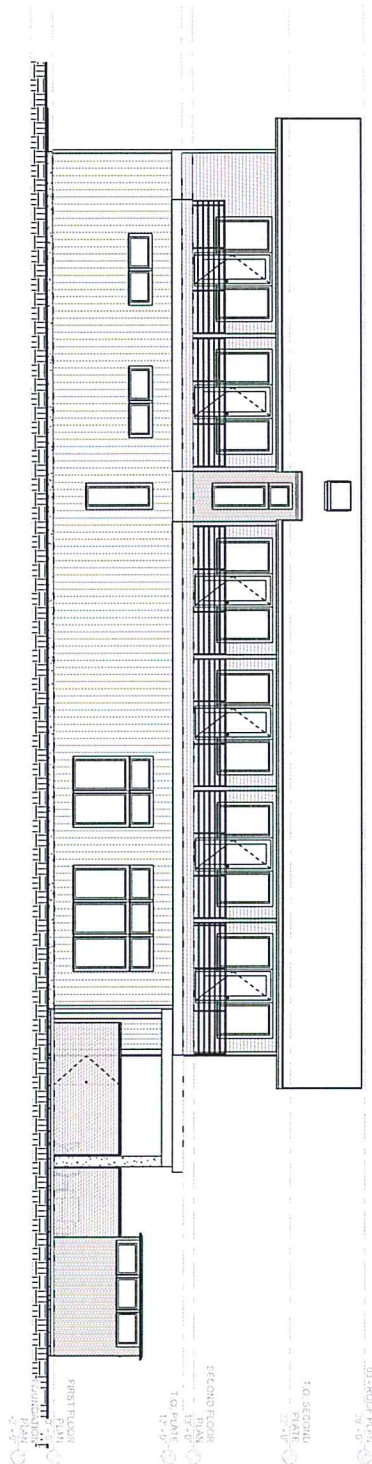
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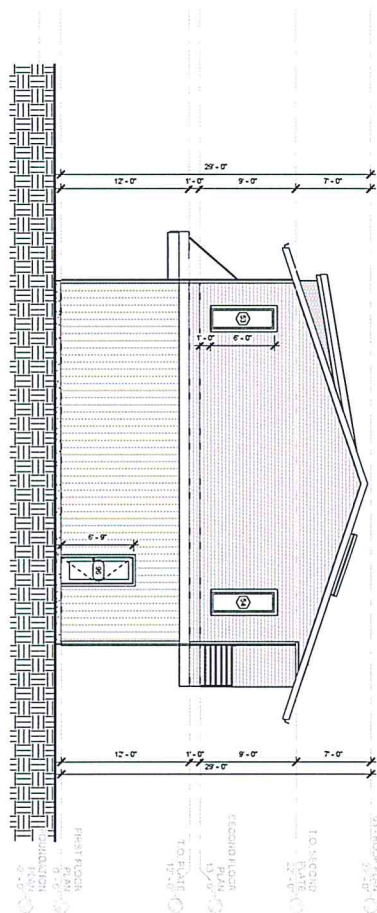




① SOUTH ELEVATION  
3/16" = 1'-0"



② WEST ELEVATION  
3/16" = 1'-0"



A4.1  
ELEVATIONS

SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST  
**BRADY & TIFFANY TURNER**  
421 11th St SW, Long Beach, WA 98531

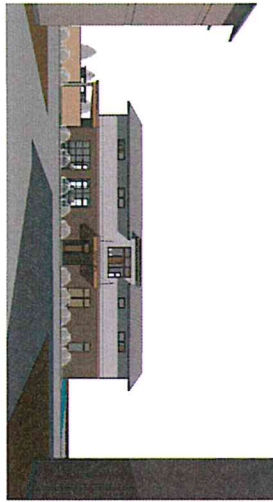
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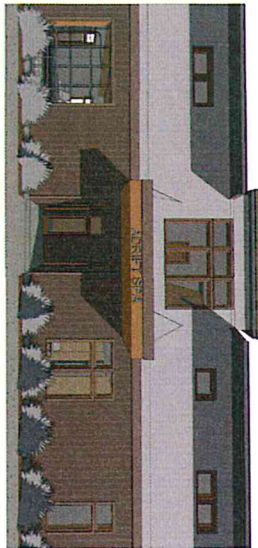
**EFA**  
architect | builder







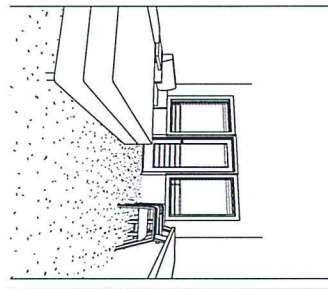
1 NORTH PERSPECTIVE



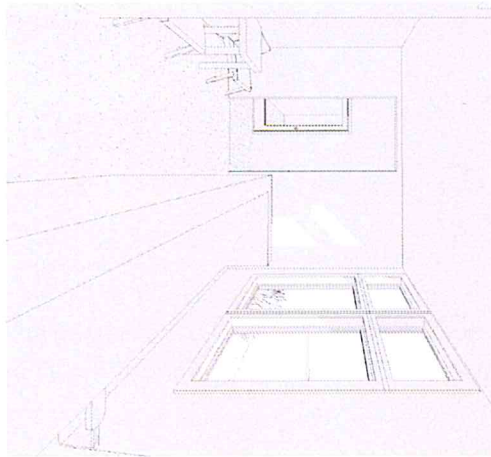
5 ENTRY PERSPECTIVE



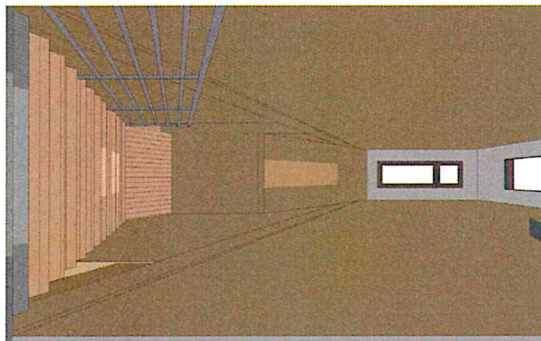
2 SOUTH PERSPECTIVE



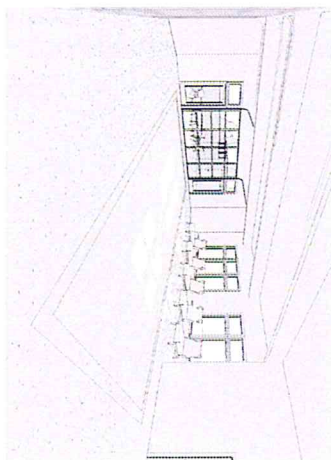
6 TYP. ROOM



4 WAITING AREA



7 STAIRWELL



8 POOL

## A4.3

PERSPECTIVES

SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST

**BRADY & TIFFANY TURNER**

421 11th St SW, Long Beach, VA 26631

NO.	DESCRIPTION	DATE

THIS SET PRINTED ON: 1/15/2017 10:32:14 AM

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A5.0

DETAILS

SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST

BRADY & TIFFANY TURNER

421 11th St SW, Long Beach, VA 98521

NO.	DESCRIPTION	DATE

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WINDOW SCHEDULE									
Item	Brand	Manufacturer	Style	Width	Height	Glass Material	Insulation Class	Energy Rating	Comments
1				3'-0"	2'-0"				
2				3'-0"	2'-0"				
3				3'-0"	2'-0"				
4				3'-0"	2'-0"				
5				3'-0"	2'-0"				
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7				3'-0"	2'-0"				
8				3'-0"	2'-0"				
9				3'-0"	2'-0"				
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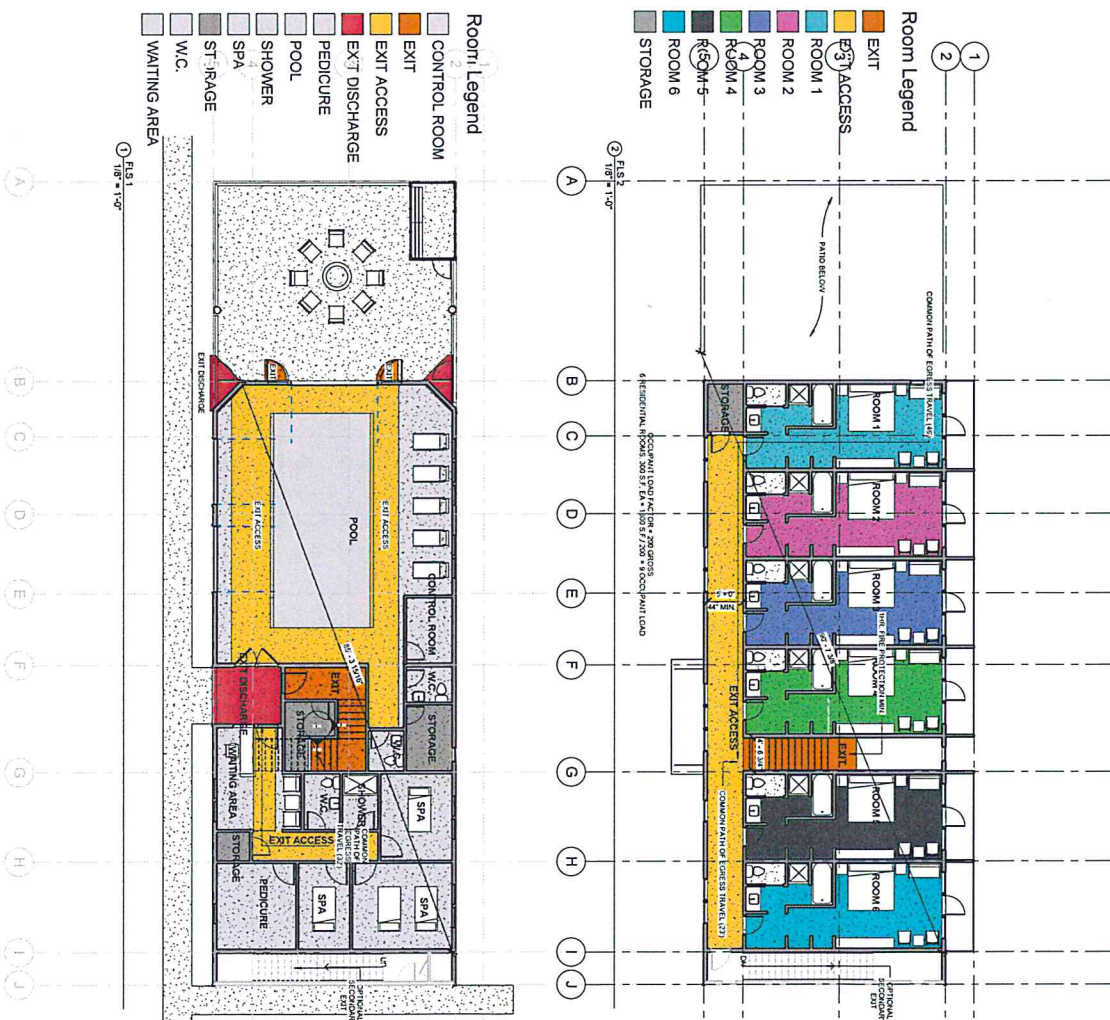
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**PLUMBING**

**Drainage** 1/2" x 12' x

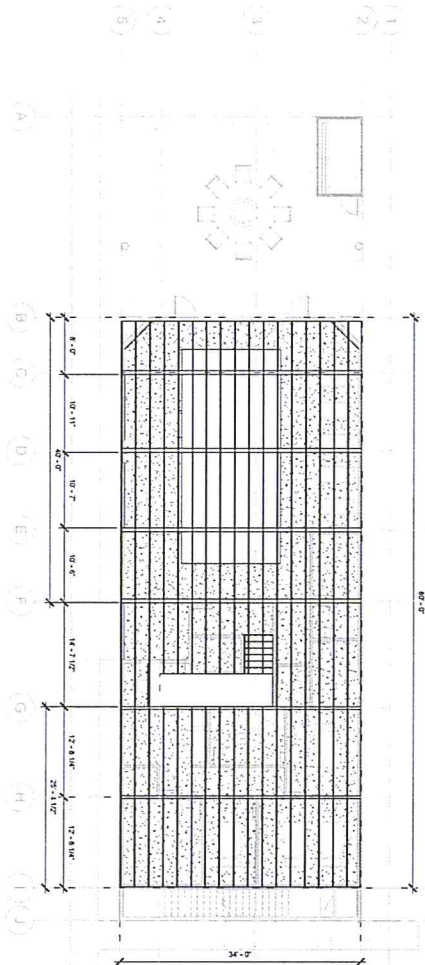
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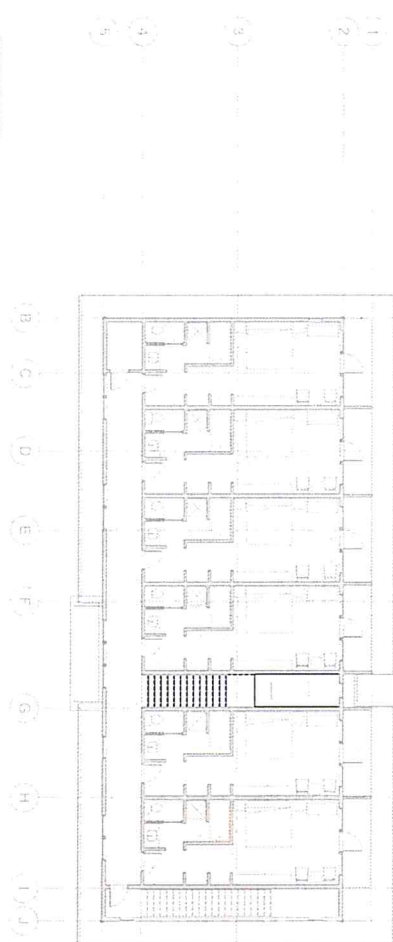
[illegible]



② SECOND FLOOR FRAMING PLAN  
1/8" = 1'-0"



① ROOF FRAMING PLAN  
1/8" = 1'-0"



S1.0  
FRAMING PLANS

SPA & ADDITIONAL ROOMS FOR INN @ DISCOVERY COAST  
**BRADY & TIFFANY TURNER**  
421 11th St SW, Long Beach, WA 98401

NO.	DESCRIPTION	DATE

THIS SET PRINTED ON: 11/15/2017 10:32:20 AM

**EFA**  
architect | builder



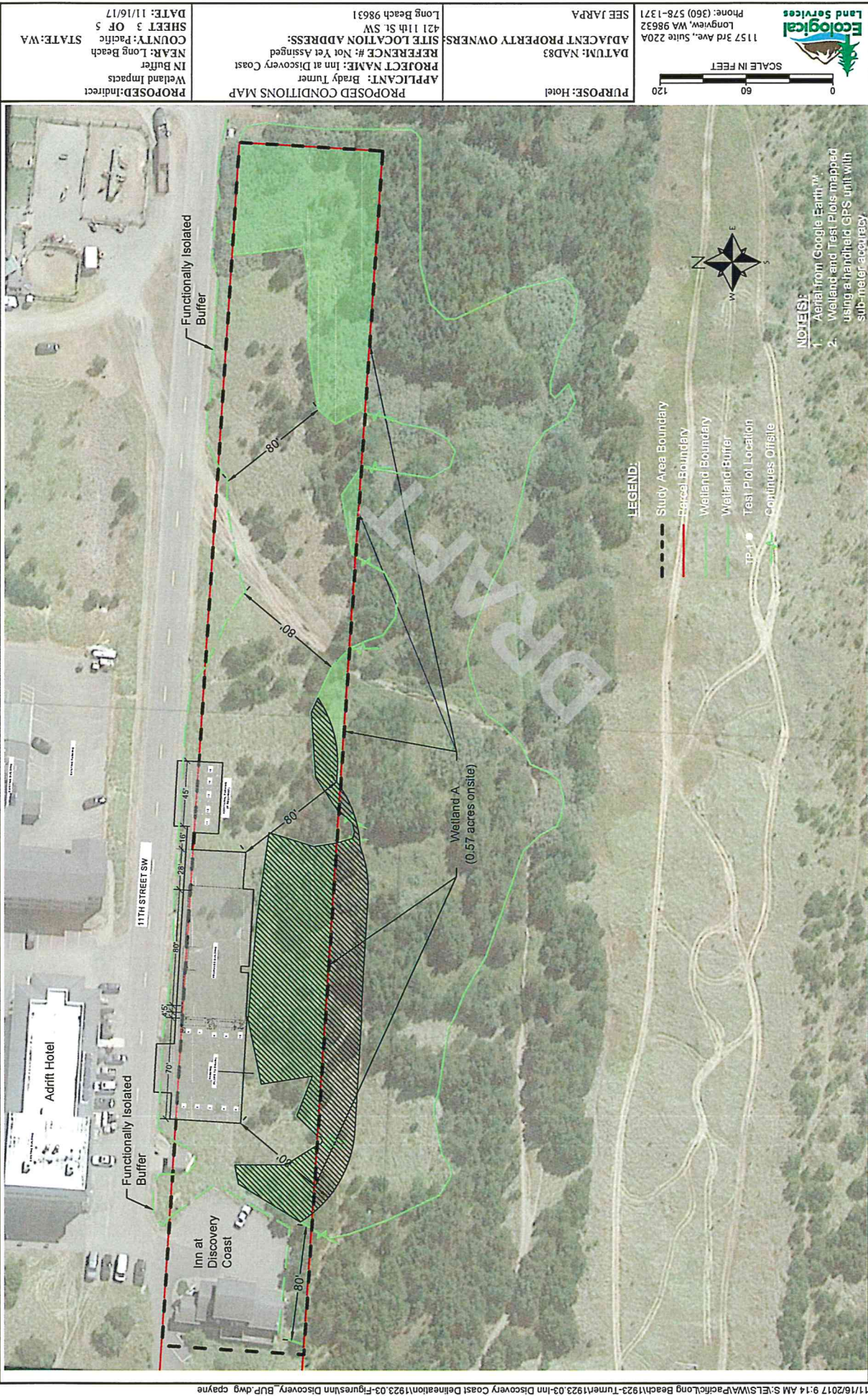
DR 2017-25  
421 11<sup>th</sup> ST SW  
Room Addition & Spa  
S3R – Shoreline Resort Restricted



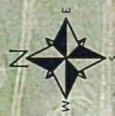








1157 3rd Ave., Suite 220A  
Longview, WA 98632  
Phone: (360) 578-1371



- NOTE(S):
1. Aerial from Google Earth™
  2. Wetland and Test Plots mapped using a handheld GPS unit with sub-meter accuracy

**LEGEND:**

- Study Area Boundary
- Parcel Boundary
- Wetland Boundary
- Wetland Buffer
- Test Plot Location
- Continues Offsite

PURPOSE: Hotel  
DATUM: NAD83  
ADJACENT PROPERTY OWNERS: SEE JARPA  
APPLICANT: Brady Turner  
PROJECT NAME: Inn at Discovery Coast  
REFERENCE #: Not Yet Assigned  
SITE LOCATION ADDRESS: 421 11th St SW  
Long Beach 98631  
PROPOSED CONDITIONS MAP

PROPOSED: Indirect  
Wetland Impacts  
IN Buffer  
NEAR: Long Beach  
COUNTY: Pacific  
STATE: WA  
DATE: 11/16/17  
SHEET 3 OF 5





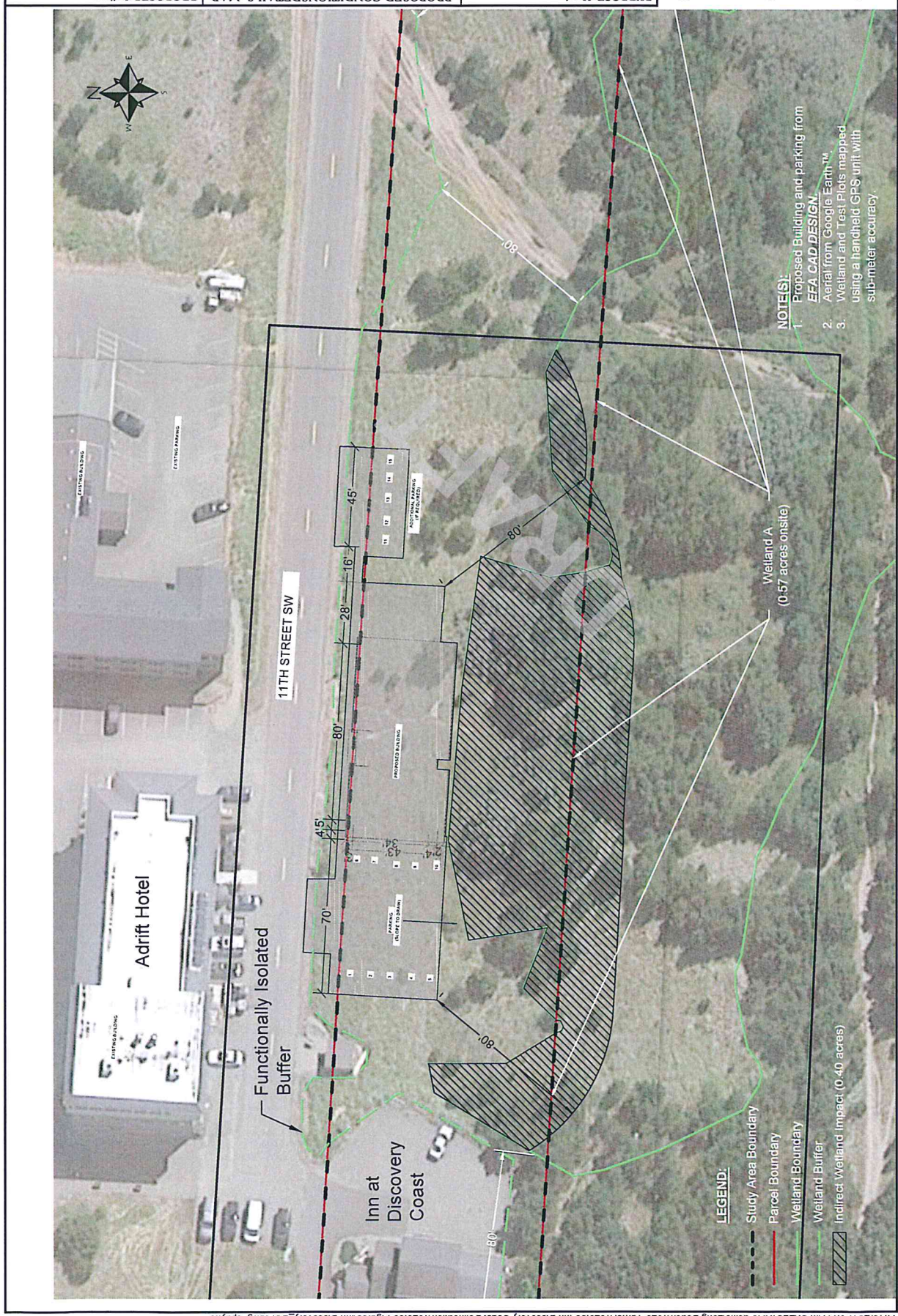
1157 3rd Ave., Suite 220A  
Longview, WA 98632  
Phone: (360) 578-1371



PURPOSE: Hotel  
DATUM: NAD83  
ADJACENT PROPERTY OWNERS:  
SEE JARPA

APPLICANT: Brady Turner  
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Long Beach 98631

PROPOSED: Indirect  
Wetland Impacts  
IN Buffer  
NEAR: Long Beach  
COUNTY: Pacific  
STATE: WA  
SHEET 4 OF 5  
DATE: 11/16/17









# PACIFIC COUNTY WASHINGTON



## TAXSIFTER

[SIMPLE SEARCH](#) [SALES SEARCH](#) [COUNTY HOME PAGE](#) [CONTACT](#) [DISCLAIMER](#) [HELP](#)
[PAYMENT CART\(0\)](#)

RENEE GOODIN  
Pacific County Treasurer P.O. Box 98 South Bend, WA 98586

[Assessor](#) [Treasurer](#) [Appraisal](#) [MapSifter](#)

### Parcel

Parcel#:	10112122338	Owner Name:	TURNER, BRADY D & TIFFANY A
DOR Code:	16 - Residential - Hotels/Motels	Address1:	
Situs:	421 11TH ST SW	Address2:	PO BOX 36
Map Number:	101121 338 LB	City, State:	SEAVIEW WA
Status:		Zip:	98644
Description:	101121 338 LB;		
Comment:			

### Current Tax Year Details

Type	Taxpayer	Statement #	Gross Tax	Tax Exempt	Net Tax	Asmts	Total Tax
Real Property	TURNER, BRADY D & TIFFANY A	<a href="#">2017-10112122338</a>	\$8,527.59	\$0.00	\$8,527.59	\$0.00	\$8,527.59

### Balances Due

### 5 Year Tax History

Type	Statement Number	Taxes	Assessments	Fees	Balance Due
Real Property	<a href="#">2017-10112122338</a>	\$8,527.59	\$0.00	\$0.00	\$0.00
	Receipt Number	Receipt Date	Taxes/Fees	Interest Paid	Total Paid
	2017-172675	05/02/2017	\$4,263.80	\$0.00	\$4,263.80
	2017-179550	09/28/2017	\$4,263.79	\$0.00	\$4,263.79

Type	Statement Number	Taxes	Assessments	Fees	Balance Due
Real Property	<a href="#">2016-10112122338</a>	\$8,405.04	\$0.00	\$0.00	\$0.00
	Receipt Number	Receipt Date	Taxes/Fees	Interest Paid	Total Paid
	2016-113859	04/25/2016	\$4,202.52	\$0.00	\$4,202.52
	2016-143578	11/02/2016	\$4,202.52	\$0.00	\$4,202.52

Type	Statement Number	Taxes	Assessments	Fees	Balance Due
Real Property	<a href="#">2015-10112122338</a>	\$8,485.81	\$0.00	\$0.00	\$0.00
	Receipt Number	Receipt Date	Taxes/Fees	Interest Paid	Total Paid
	2015-80303	07/15/2015	\$4,242.91	\$509.15	\$4,752.06
	2015-85880	10/21/2015	\$4,242.90	\$0.00	\$4,242.90

Type	Statement Number	Taxes	Assessments	Fees	Balance Due
Real Property	<a href="#">2014-10112122338</a>	\$7,883.50	\$0.00	\$0.00	\$0.00
	Receipt Number	Receipt Date	Taxes/Fees	Interest Paid	Total Paid
	2014-33042	09/22/2014	\$7,883.50	\$630.68	\$8,514.18

Type	Statement Number	Taxes	Assessments	Fees	Balance Due
Real Property	<a href="#">2013-10112122338</a>	\$7,345.52	\$0.00	\$0.00	\$0.00
	Receipt Number	Receipt Date	Taxes/Fees	Interest Paid	Total Paid
	2013-0528634	11/04/2013	\$7,345.52	\$661.10	\$8,006.62
Type	Statement Number	Taxes	Assessments	Fees	Balance Due
Real Property	<a href="#">2012-10112122338</a>	\$7,144.29	\$0.00	\$0.00	\$0.00
	Receipt Number	Receipt Date	Taxes/Fees	Interest Paid	Total Paid
	2012-0473242	10/29/2012	\$7,144.29	\$642.99	\$7,787.28

## Property Images

Click on an image to enlarge it.



TAB — F







**CITY COUNCIL  
AGENDA BILL  
AB 17-66**

**Meeting Date: November 20, 2017**

**AGENDA ITEM INFORMATION**

**SUBJECT:** Case No. DR 2017-26; Design Review, Driftwood Point, Joint Pacific County Housing Authority

*Originator:*

Mayor

City Council

City Administrator

City Attorney

City Clerk

City Engineer

Community Development Director

AS

Fire Chief

Police Chief

Streets/Parks/Drainage Supervisor

Water/Wastewater Supervisor

Other:

**COST:** N/A

**SUMMARY STATEMENT:** Erik Fagerland on behalf of the Joint Pacific County Housing Authority has applied to build a 27-unit apartment complex in the RC zone. The application proposes three single-bedroom units, 18 two-bedroom units, and six three-bedroom units along with a community building, laundry room and office. The apartments would be housed in two large complexes with the community area in a separate building. There is also additional room for greenspace and a playground. See the attached staff report.

**RECOMMENDED ACTION:** Review and decide whether to approve with conditions, or deny the application.



**City of Long Beach**

**Department of Community Development**

**STAFF REPORT**

**TO:** Long Beach City Council

**CASE No.:** DR 2017-26  
Driftwood Point Apartments in the RC Zone

**APPLICANT:** Erik Fagerland and Associates on behalf of the Joint Pacific County Housing Authority

**SITE ADDRESS:** Oregon Avenue & 11<sup>th</sup> Street Northeast, APN 73011035003

**AUTHORITY:** Design Review by City Council Pursuant to Section 12-10-5(C), Long Beach City Code

**DATE:** November 13, 2017

---

Pursuant to 12-10-5(C) of the Long Beach City Code the City Council conducts design review for commercial additions where the resulting building has a gross floor area of more than six thousand (6,000) square feet.

**BACKGROUND**

The applicant seeks approval to build a 27-unit apartment complex in the RC zone. The application proposes three single-bedroom units, 18 two-bedroom units, and six three-bedroom units along with a community building, laundry room and office. The apartments would be housed in two large complexes with the community area in a separate building. There is also additional room for greenspace and a playground.

The subject property is located in the RC – Residential Commercial zone, where design review is required for commercial additions. *Location map attached.*

The applicant requests approval of DR 2017-26, which proposes the following:

1. Construct two large apartment buildings with an additional community building. This building would have the following characteristics:
  - 1.1. Two large two-story apartment buildings plus an additional community building for a total gross floor area of 36,000 SF
  - 1.2. A shed roof with 7:12 pitch and composition cladding
  - 1.3. Cement-based lap siding
  - 1.4. Vinyl windows
  - 1.5. Fiberglass doors



- 1.6. Rye grass, native shrubs and trees
2. Most units will have a balcony or covered patio.
3. The community building will house offices, restrooms, kitchen and meeting area.
4. There will also be a playground structure on the property.

## PROCEDURAL INFORMATION

**Authorizing Ordinances:** Long Beach City Code Title 12, Zoning Regulations, **Section 12-10-5(B)(3)(b)**. More specifically as follows:

Review Procedure; Item (B): Planning Commission review, (3) Commercial Development, (b) Additions greater than twenty percent (20%) of the existing floor area or four hundred (400) SF, whichever is less, resulting in a building with a gross floor area of not more than six thousand (6,000) SF.

Review Procedure; Item (C): City Council Review: The City Council shall review and act upon any design review application not included in subsections A and B of this section.

The applicant requests an addition that will result in a building with a gross floor area exceeding six thousand (6,000) SF. Therefore, design review and final action are conducted by the City Council.

## ANALYSIS

Below are relevant sections of the Long Beach City Code. Breaks in sequencing occur where sections of the code that are not relevant to this proposal have been omitted.

### Conditional Uses

**Section 12-6C-3** sets forth conditional uses for the RC zone, which include the following:

1. Group Dwellings: defined as two (2) or more single-family dwellings on a single property, each containing not more than one thousand two hundred (1,200) square feet of living area. A group dwelling development may also be referred to as a cottage development, and is distinguished by shared open space within the project. It may include a shared community building and accessory uses as amenities. Individual dwelling units may be condominiums, but the owner of each dwelling unit does not individually own the land on which the unit is situated and the open space and community building are owned in common by all owners.

*The project proposes 27 full-time dwelling units on the same property, therefore constituting this project as a "group dwelling". The applicant would need to apply for a conditional use permit. The project as proposed conforms to code.*

### **Standards**

**Section 12-6C-4** sets forth standards in the RC zone:

**A.1. Lot Size/Lot Area:** The minimum lot size shall be five thousand (5,000) square feet.

*The applicant proposes to combine most of a city block with a boundary line adjustment, thus creating a lot approximately 30,000 SF. The project as proposed conforms to code.*

---

**A.2. Lot Coverage:** No more than seventy-five percent (75%) of any lot shall be covered by structures and/or impermeable surfaces.

*As proposed, the impervious cover would amount to roughly 70% of the total lot area. The project as proposed conforms to code.*

---

### **A.3. Setback Requirements:**

- a. Front yard: Zero minimum to a maximum of twenty feet (20') along Pacific Avenue; zero minimum and no maximum to other streets: *as proposed, there is a 0' setback along Pacific Avenue, which conforms to code.*
- b. Side yard: Five-foot (5') minimum: *as proposed the north side setback is 6', which conforms to code, and the south side setback is roughly 20', which also conforms to code.*
- c. Rear yard: Five-foot (5') minimum: *as proposed, the rear (east side) setback is 0' which does not conform to code. The applicant will have to provide at least a 5' rear yard setback.*

*Please take note of the two following requirements as well:*

- (1) The ground level of the building, to a height of at least eight feet (8') but excluding porch columns and railings, shall not be located in a vision clearance triangle, formed by measuring twenty feet (20') along each property line from the intersection of the two (2) streets and connecting the end points of such lines formed by such measurements.
- (2) Porch roofs, balconies, canopies, bays, upper floors and similar features shall be permitted to project into the vision clearance triangle, provided the lowest point of the

overhang or projection has a clearance of at least eight feet (8') above the sidewalk grade on Pacific Avenue, if abutting, or the level of the adjacent street for all other frontages.

---

**B.1. Building Height:** The maximum height of the building shall be thirty-five (35').

*The project as proposed would be twenty-eight feet (28') in height. The project as proposed conforms to code.*

---

**D. Parking:** As provided for in chapter 12 of this title.

**Section 12-2-2(A) Off Street Parking:** Multi-family residences, 3 or more dwellings: 1 for each studio or one-bedroom unit; 1.5 for each two-bedroom unit; 2 for each three-bedroom or larger unit; plus 1 visitor space for every 4 dwelling units

*The project as proposed offers 50 parking spaces. The required parking breakdown is as shown below:*

*3 – 1-bedroom units = 3 parking spaces*

*18 – 2-bedroom units = 27 parking spaces*

*6 – 3-bedroom units = 12 parking spaces*

*Plus 1 visitor space per every 4 dwelling units = 6.75 parking spaces rounded up to 7.*

*This totals 49 required parking spaces. The project as proposed conforms to code, knowing that the applicant plans to vacate a portion of 10<sup>th</sup> St. NE.*

---

**E. Design Review:** All new construction, additions, and exterior alterations shall be subject to design review.

*The applicants have made a complete submittal for design review in accordance with the City Code. The project as proposed conforms to code.*

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**F. Landscaping:** Chapter 13 of the zoning code defines landscaping requirements for the S3 zone as follows:

**12-13-1(C): Required Landscaping in all Districts, Landscape Materials:** Required landscaping shall be predominantly native or plant materials suited to the coastal setting. Consideration should be given to the appearance of the landscaping in all seasons. Landscaping plans shall be designed to conserve and make efficient use of water. Plant sizes shall be used that will best ensure their survival, and to provide coverage within two (2) years. Deciduous trees shall have a minimum trunk diameter of two inches (2") at time of planting. Evergreen trees shall be a minimum of six feet (6') tall at time of planting. Ground cover shall be used to fill in between larger plants; mulch such as river rock or bark may be used only if approved as part of the overall landscaping plan and shall be limited. Land disturbed by development activities shall be revegetated at least to its pre-development condition.

**12-13-4: RC Residential Commercial District:** New development or additions and alterations that have a remodeling value of fifty percent (50%) of the existing structure in the C1 and RC zones shall provide five (5) square feet of landscaping for each one foot (1') of street frontage along all property lines abutting public rights of way. All required landscaping shall be located within twenty feet (20') of the property line abutting the street. Landscaping required by section 12-13-1 of this chapter may be counted toward this requirement. At least two-thirds ( $\frac{2}{3}$ ) of the landscaping area shall be natural materials, or softscape. The remaining one-third ( $\frac{1}{3}$ ) of the required landscaping area may be hardscape, provided the reviewing authority finds the proposed design enhances the proposed development and the surrounding area. The hardscape area may be used for outdoor merchandising, vending or dining, subject to the requirements of the underlying zone. Landscape areas may be enhanced with street furniture such as benches.

*The proposed project includes roughly 485' of street frontage, which equates to 2,425 SF of landscaping required. As the project is proposed, there is well over the requirement. As the plans become finalized, the City will make sure that the landscaping is addressed as required. This landscaping plan should be comprised of native trees, shrubs and grasses to provide a lawn for the tenants.*

---

### **Design Criteria for the RC Zone**

**Section 12-10A-1** sets out the intent of and specific design criteria for the RC zoning district, among others. Following are the relevant sections of the municipal code; a break



in the sequencing occurs where sections that are not relevant to this proposal have been omitted.

**A. Intent:** The intent of the RC zone is to create an early twentieth century seashore atmosphere, provide an attractive compact retail core to stimulate foot traffic, and to promote tourism. Common architectural details include false fronts, marquees, cedar shingles and ornate seashore detailing. A diversity of building fronts is to be encouraged, and simple replication is to be discouraged.

*The project as proposed reflects, to the extent practicable, the Early Seashore architectural theme well in its use of lap siding and prominent columns, and cedar window trim. These building do offer a variation in frontage; some have balconies, patios and other features. The project as proposed generally conforms to code.*

---

**B1. Roofs:** A roof pitch of 5:12 or greater is required. The approving authority may allow a shallower pitch or a flat roof on commercial or mixed-use buildings where the pitch of the roof is concealed from the primary street frontage by a false front that extends across at least fifty percent (50%) of the width of the building's street frontage. Shallower roof pitches on projecting features such as bays and porches may be permitted where the form of the elements is complementary to the overall form and character of the building.

*The project as proposed has a roof pitch of 7:12 which conforms to code.*

---

**B2. Wood Siding:** A minimum of eighty percent (80%) of the building's total exterior siding exposure shall be cedar shingle, lap or clapboard siding with an exposure not to exceed eight inches (8"), or cedar shake with a maximum reveal of fourteen inches (14"). Board and batten siding may also be used. The use of glass for window displays is encouraged, and shall be counted toward the wood siding requirement. Cement board siding that is similar in appearance to permitted siding materials shall be allowed. Other construction methods, including sheet siding without battens, are prohibited.

*As proposed, the building would be clad in cement-based lap siding with cedar accents. The project as proposed conforms to code.*

---

**B3. Finishes:** Natural, painted or stained finishes are permitted.

*The project as proposed includes cement-based lap siding painted white, and window and door trim left natural (cedar). The project as proposed conforms to code.*

---

**B4. Trim:** Trim should be provided around all windows, doors and to accent the architecture of the building. Trim should be painted in a contrasting color, but may be left unfinished if the exterior siding material is also unfinished.

*The project as proposed includes natural trim around all windows and doors. The project as proposed conforms to code.*

---

**9. Roof Ridge:** Roof Ridge: One vertical change in elevation of a minimum of three feet (3') shall occur in every fifty foot (50') run of roof.

*The project as proposed has a change in roof elevation of greater than 3', therefore conforming to code.*

---

**9. Screening:** Trash receptacles and ground-placed HVAC units shall be screened from public view by landscaping, fencing, or other appropriate method. HVAC and exhaust units placed on flat roofs may be screened by a false front. HVAC and exhaust units placed on a roof of a 5:12 or steeper pitch are not required to be screened.

*This hasn't been addressed in the application but would be a condition of approval.*

---

**B11. Landscaping:**

a. Landscaping shall be used where necessary to mitigate the height, bulk, or scale of buildings.

b. Landscaping or landscaped berms shall be used to partially screen parking areas from view from adjacent streets or building occupants. Landscaping shall also be used to screen commercial uses from the view of adjacent residences.

c. Any building not built to the street line shall provide landscaping between the building and the street. Hardscape areas such as patios may be a part of the landscaping, provided planters are included in the design and the space is designed as an outdoor amenity.

d. Plant materials shall include grasses, shrubs, trees and other plant materials appropriate to the coastal setting. Along Pacific Avenue and Ocean Beach Boulevard, landscaping should be used to provide visual interest for pedestrians. In the shoreline areas, plants shall complement the natural dune setting.

*See discussion above. The project as proposed conforms to code*

---

**B13. Orientation:** The front door of any residential building shall face the street.

*The property fronts Oregon St. N, 10<sup>th</sup> St. NE, and smaller portions of 11<sup>th</sup> St. NE. The main entrances will be from Oregon. The project as proposed conforms to code.*

---

## **FACILITIES AND INFRASTRUCTURE**

**Water:** The property is served by City water.

**Sewer:** The property is served by City sewer.

**Access:** The property is accessed from Oregon St. N, 10<sup>th</sup> St. NE and 11<sup>th</sup> St. NE.

## **STAFF RECOMMENDATION**

Staff provides the following information in support of the City Councils' independent consideration and approval or denial of Case No. DR 2017-26. Staff recommends **CONDITIONAL APPROVAL**, based on the design as submitted, and subject to the following findings and conditions:

### **Findings:**

1. The proposal with conditions as identified in this staff report complies with the Comprehensive Plan and other adopted City policies;
2. The proposal with conditions as identified in this staff report meets the requirements of Title 12, Zoning Ordinance, of the City of Long Beach Municipal Code;
3. The proposal with conditions as identified in this staff report satisfies the criteria and purposes of Title 12, Chapter 10 – Design Review Criteria;



4. The proposal with conditions as identified in this staff report is consistent with the Design Guidelines for the City of Long Beach.

**Conditions:**

1. The structure shall be clad in cement-based lap siding comprising a minimum of 80% of the cladding. The applicant's builder shall submit samples of any cement-based product to the City for prior approval.
2. Siding shall be painted white or a natural color; trim shall be natural, as well as all accents.
3. Provide at least 2,425 SF of landscaping; see 12-13-4 for specific requirements.
4. A total of 49 parking spaces must be provided. Occupancy will not be granted until a minimum of 49 parking spaces are provided.
5. A Conditional Use Permit must be obtained by the applicant for the use of a Group Dwelling in the Residential Commercial District.
6. No building permit shall be granted until the applicant obtains ownership of what is known as the "10<sup>th</sup> Street Garage" property or APN:73011035001.
7. No building permit shall be granted until a boundary line adjustment is completed to combine all lots addressed in the application.
8. No building permit shall be granted until the street vacation on 10<sup>th</sup> and possibly Oregon are complete.
9. No building permit shall be granted until utilities, including a stormwater plan, are engineered and approved by the City's engineer.
10. All trash receptacles and ground-placed HVAC units shall be screened from public view by landscaping, fencing, or other appropriate method. HVAC and exhaust units placed on flat roofs may be screened by a false front. HVAC and exhaust units placed on a roof of a 5:12 or steeper pitch are not required to be screened.

Attachments:    Location map  
                     Application, including elevations  
                     Taxsifter information







## APPLICATION FOR DESIGN REVIEW

Return to Long Beach City Hall, 115 Bolstad Avenue West, PO Box 310, Long Beach, WA 98631

### APPLICANT INFORMATION

Name ERIK FAGERLAND  
Mailing Address BOX 1469  
LONG BEACH, WA. 98631

Telephone 360 642 2389  
Fax \_\_\_\_\_  
E-mail longbeacharchitectetf@gmail.com

### PROPERTY OWNER INFORMATION (if different)

Name JOINT PACIFIC COUNTY HOUSING AUTHORITY  
Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_  
Fax \_\_\_\_\_  
E-mail \_\_\_\_\_

### PROJECT INFORMATION

Site Address \_\_\_\_\_ Zoning R2  
Cross Street(s) 10<sup>th</sup> & 11<sup>th</sup> STREET EAST SIDE OF HWY

### PROJECT TYPE (Check one in each column)

- |  |  |
|--|--|
| <input type="checkbox"/> Single Family Residential           | <input checked="" type="checkbox"/> New Construction |
| <input checked="" type="checkbox"/> Multi-Family Residential | <input type="checkbox"/> Addition                    |
| <input type="checkbox"/> Commercial                          | <input type="checkbox"/> Alteration                  |
| <input type="checkbox"/> Fence/Accessory Structure           | <input type="checkbox"/> Amendment to prior approval |

PROJECT DESCRIPTION 27 LOW INCOME APARTMENTS w/ COMMUNITY & OFFICE SPACES

### CHECKLIST

Provide 1) a completed application; 2) a site plan, 3) a landscape plan, 4) drawings showing each elevation. Drawings must be to scale and on standard-sized sheets. If larger than 11" x 17", 8 sets of drawings must be submitted. The following information must be shown on the plans and also described here. Where possible, provide samples of materials and colors

### SITE PLAN: drawn at 1" = 10' or 20'; include a north arrow

Lot Coverage (total %, all buildings and impervious surfaces) 70%  
Setbacks: Front 0 Rear 0 Side(s) 6' & 20'

### ELEVATION DRAWINGS: drawn at 1/8" or 1/4" = 1'

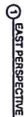
Building Height <u>28'</u>	Roof Pitch <u>7/12</u>
Type of Roof Covering <u>ARCH. COMPOSITION</u>	Type of Siding <u>HORIZONTAL LP</u>
Type of Windows <u>VINYL</u>	Type of Doors <u>FIBERGLASS</u>
Type of Fences <u>N/A</u>	
Proposed Color(s) and Finish <u>WHITE AND NATURAL WOOD</u>	
Proposed Trim Color(s) <u>NATURAL CEDAR</u>	

### LANDSCAPE PLAN: may be included on the site plan

Location and Type of Groundcover RYE GRASS, ESCALONIA BUSHES, MISC. TREES  
Location, Type and Quantity of Shrubs and Trees SEE SITE PLAN

APPLICANT SIGNATURE <u>[Signature]</u>	DATE <u>11.9.17</u>
OWNER SIGNATURE <u>[Signature]</u>	DATE <u>11/9/17</u>
Office Use Only Received by <u>[Signature]</u> Date <u>11/9/2017</u>	Project No. <u>DR 2017-26</u>





### STRUCTURE: Foundations:

[illegible]

**Public Health Scotland**

[illegible]

THE AIR FORCE AIR EDUCATION

TVA BUILDING AREA IDENTICAL				
Station	Level	Area	Perimeter	
WETTED	511.1 (W) / 509.1 (W)	524.43	121.8'	
NO. 1 E. CHOCOLAT	512.1 (S) / 510.1 (S)	424.43	101.8'	
NO. 2 E. CHOCOLAT	513.1 (S) / 511.1 (S)	424.43	101.8'	
THREE E. CHOCOLAT	514.1 (W) / 512.1 (W)	424.43	101.8'	
NO. 4 E. CHOCOLAT	515.1 (W) / 513.1 (W)	424.43	101.8'	
NO. 5 E. CHOCOLAT	516.1 (W) / 514.1 (W)	424.43	101.8'	
NO. 6 E. CHOCOLAT	517.1 (W) / 515.1 (W)	424.43	101.8'	
NO. 7 E. CHOCOLAT	518.1 (W) / 516.1 (W)	424.43	101.8'	
NO. 8 E. CHOCOLAT	519.1 (W) / 517.1 (W)	424.43	101.8'	
NO. 9 E. CHOCOLAT	520.1 (W) / 518.1 (W)	424.43	101.8'	
NO. 10 E. CHOCOLAT	521.1 (W) / 519.1 (W)	424.43	101.8'	
NO. 11 E. CHOCOLAT	522.1 (W) / 520.1 (W)	424.43	101.8'	
NO. 12 E. CHOCOLAT	523.1 (W) / 521.1 (W)	424.43	101.8'	
NO. 13 E. CHOCOLAT	524.1 (W) / 522.1 (W)	424.43	101.8'	
NO. 14 E. CHOCOLAT	525.1 (W) / 523.1 (W)	424.43	101.8'	
NO. 15 E. CHOCOLAT	526.1 (W) / 524.1 (W)	424.43	101.8'	
NO. 16 E. CHOCOLAT	527.1 (W) / 525.1 (W)	424.43	101.8'	
NO. 17 E. CHOCOLAT	528.1 (W) / 526.1 (W)	424.43	101.8'	
NO. 18 E. CHOCOLAT	529.1 (W) / 527.1 (W)	424.43	101.8'	
NO. 19 E. CHOCOLAT	530.1 (W) / 528.1 (W)	424.43	101.8'	
NO. 20 E. CHOCOLAT	531.1 (W) / 529.1 (W)	424.43	101.8'	
NO. 21 E. CHOCOLAT	532.1 (W) / 530.1 (W)	424.43	101.8'	
NO. 22 E. CHOCOLAT	533.1 (W) / 531.1 (W)	424.43	101.8'	
NO. 23 E. CHOCOLAT	534.1 (W) / 532.1 (W)	424.43	101.8'	
NO. 24 E. CHOCOLAT	535.1 (W) / 533.1 (W)	424.43	101.8'	
NO. 25 E. CHOCOLAT	536.1 (W) / 534.1 (W)	424.43	101.8'	
NO. 26 E. CHOCOLAT	537.1 (W) / 535.1 (W)	424.43	101.8'	
NO. 27 E. CHOCOLAT	538.1 (W) / 536.1 (W)	424.43	101.8'	
NO. 28 E. CHOCOLAT	539.1 (W) / 537.1 (W)	424.43	101.8'	
NO. 29 E. CHOCOLAT	540.1 (W) / 538.1 (W)	424.43	101.8'	
NO. 30 E. CHOCOLAT	541.1 (W) / 539.1 (W)	424.43	101.8'	
NO. 31 E. CHOCOLAT	542.1 (W) / 540.1 (W)	424.43	101.8'	
NO. 32 E. CHOCOLAT	543.1 (W) / 541.1 (W)	424.43	101.8'	
NO. 33 E. CHOCOLAT	544.1 (W) / 542.1 (W)	424.43	101.8'	
NO. 34 E. CHOCOLAT	545.1 (W) / 543.1 (W)	424.43	101.8'	
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NO. 36 E. CHOCOLAT	547.1 (W) / 545.1 (W)	424.43	101.8'	
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NO. 41 E. CHOCOLAT	552.1 (W) / 550.1 (W)	424.43	101.8'	
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NO. 47 E. CHOCOLAT	558.1 (W) / 556.1 (W)	424.43	101.8'	
NO. 48 E. CHOCOLAT	559.1 (W) / 557.1 (W)	424.43	101.8'	
NO. 49 E. CHOCOLAT	560.1 (W) / 558.1 (W)	424.43	101.8'	
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NO. 51 E. CHOCOLAT	562.1 (W) / 560.1 (W)	424.43	101.8'	
NO. 52 E. CHOCOLAT	563.1 (W) / 561.1 (W)	424.43	101.8'	
NO. 53 E. CHOCOLAT	564.1 (W) / 562.1 (W)	424.43	101.8'	
NO. 54 E. CHOCOLAT	565.1 (W) / 563.1 (W)	424.43	101.8'	
NO. 55 E. CHOCOLAT	566.1 (W) / 564.1 (W)	424.43	101.8'	
NO. 56 E. CHOCOLAT	567.1 (W) / 565.1 (W)	424.43	101.8'	
NO. 57 E. CHOCOLAT	568.1 (W) / 566.1 (W)	424.43	101.8'	
NO. 58 E. CHOCOLAT	569.1 (W) / 567.1 (W)	424.43	101.8'	
NO. 59 E. CHOCOLAT	570.1 (W) / 568.1 (W)	424.43	101.8'	
NO. 60 E. CHOCOLAT	571.1 (W) / 569.1 (W)	424.43	101.8'	
NO. 61 E. CHOCOLAT	572.1 (W) / 570.1 (W)	424.43	101.8'	
NO. 62 E. CHOCOLAT	573.1 (W) / 571.1 (W)	424.43	101.8'	
NO. 63 E. CHOCOLAT	574.1 (W) / 572.1 (W)	424.43	101.8'	
NO. 64 E. CHOCOLAT	575.1 (W) / 573.1 (W)	424.43	101.8'	
NO. 65 E. CHOCOLAT	576.1 (W) / 574.1 (W)	424.43	101.8'	
NO. 66 E. CHOCOLAT	577.1 (W) / 575.1 (W)	424.43	101.8'	
NO. 67 E. CHOCOLAT	578.1 (W) / 576.1 (W)	424.43	101.8'	
NO. 68 E. CHOCOLAT	579.1 (W) / 577.1 (W)	424.43	101.8'	
NO. 69 E. CHOCOLAT	580.1 (W) / 578.1 (W)	424.43	101.8'	
NO. 70 E. CHOCOLAT	581.1 (W) / 579.1 (W)	424.43	101.8'	
NO. 71 E. CHOCOLAT	582.1 (W) / 580.1 (W)	424.43	101.8'	
NO. 72 E. CHOCOLAT	583.1 (W) / 581.1 (W)	424.43	101.8'	
NO. 73 E. CHOCOLAT	584.1 (W) / 582.1 (W)	424.43	101.8'	
NO. 74 E. CHOCOLAT	585.1 (W) / 583.1 (W)	424.43	101.8'	
NO. 75 E. CHOCOLAT	586.1 (W) / 584.1 (W)	424.43	101.8'	
NO. 76 E. CHOCOLAT	587.1 (W) / 585.1 (W)	424.43	101.8'	
NO. 77 E. CHOCOLAT	588.1 (W) / 586.1 (W)	424.43	101.8'	
NO. 78 E. CHOCOLAT	589.1 (W) / 587.1 (W)	424.43	101.8'	
NO. 79 E. CHOCOLAT	590.1 (W) / 588.1 (W)	424.43	101.8'	
NO. 80 E. CHOCOLAT	591.1 (W) / 589.1 (W)	424.43	101.8'	
NO. 81 E. CHOCOLAT	592.1 (W) / 590.1 (W)	424.43	101.8'	
NO. 82 E. CHOCOLAT	593.1 (W) / 591.1 (W)	424.43	101.8'	
NO. 83 E. CHOCOLAT	594.1 (W) / 592.1 (W)	424.43	101.8'	
NO. 84 E. CHOCOLAT	595.1 (W) / 593.1 (W)	424.43	101.8'	
NO. 85 E. CHOCOLAT	596.1 (W) / 594.1 (W)	424.43	101.8'	
NO. 86 E. CHOCOLAT	597.1 (W) / 595.1 (W)	424.43	101.8'	
NO. 87 E. CHOCOLAT	598.1 (W) / 596.1 (W)	424.43	101.8'	
NO. 88 E. CHOCOLAT	599.1 (W) / 597.1 (W)	424.43	101.8'	
NO. 89 E. CHOCOLAT	600.1 (W) / 598.1 (W)	424.43	101.8'	
NO. 90 E. CHOCOLAT	601.1 (W) / 599.1 (W)	424.43	101.8'	
NO. 91 E. CHOCOLAT	602.1 (W) / 600.1 (W)	424.43	101.8'	
NO. 92 E. CHOCOLAT	603.1 (W) / 601.1 (W)	424.43	101.8'	
NO. 93 E. CHOCOLAT	604.1 (W) / 602.1 (W)	424.43	101.8'	
NO. 94 E. CHOCOLAT	605.1 (W) / 603.1 (W)	424.43	101.8'	
NO. 95 E. CHOCOLAT	606.1 (W) / 604.1 (W)	424.43	101.8'	
NO. 96 E. CHOCOLAT	607.1 (W) / 605.1 (W)	424.43	101.8'	
NO. 97 E. CHOCOLAT	608.1 (W) / 606.1 (W)	424.43	101.8'	
NO. 98 E. CHOCOLAT	609.1 (W) / 607.1 (W)	424.43	101.8'	
NO. 99 E. CHOCOLAT	610.1 (W) / 608.1 (W)	424.43	101.8'	
NO. 100 E. CHOCOLAT	611.1 (W) / 609.1 (W)	424.43	101.8'	

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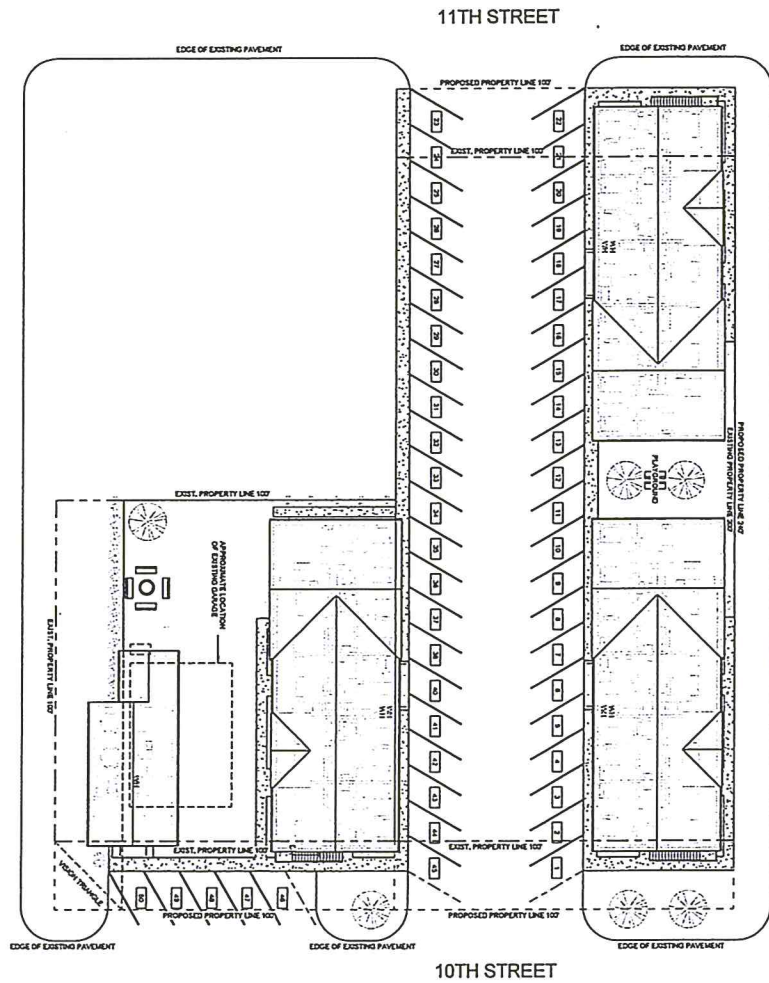
UNLOCKED/ANY GROUP IN ANY BUILDING  
COMBINATION TYPE V  
FIRE PROTECTION SYSTEM: AUTOMATIC SPRINKLER SYSTEM THROUGHOUT  
CODES: 2015 INTERNATIONAL BUILDING CODE



## SITE PLAN

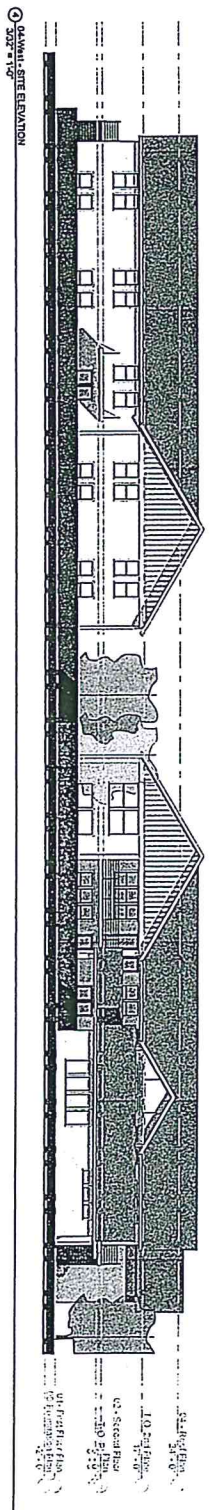
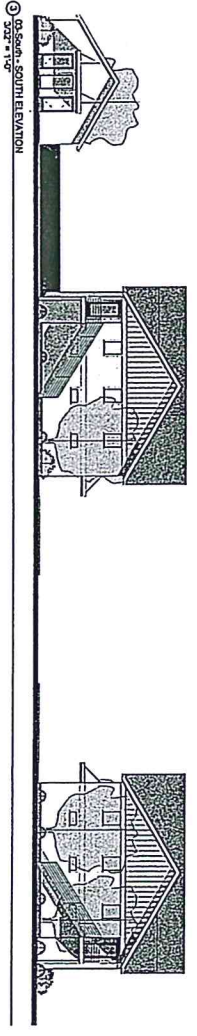
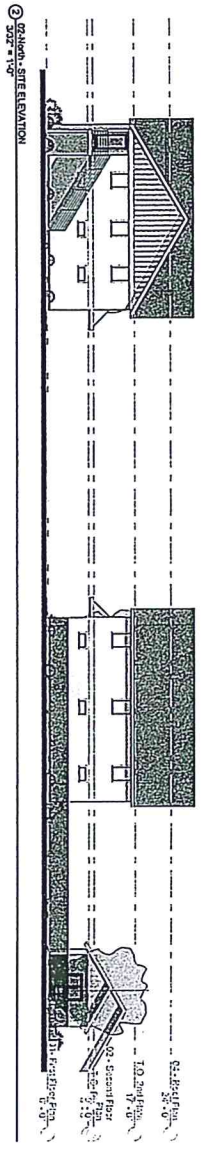
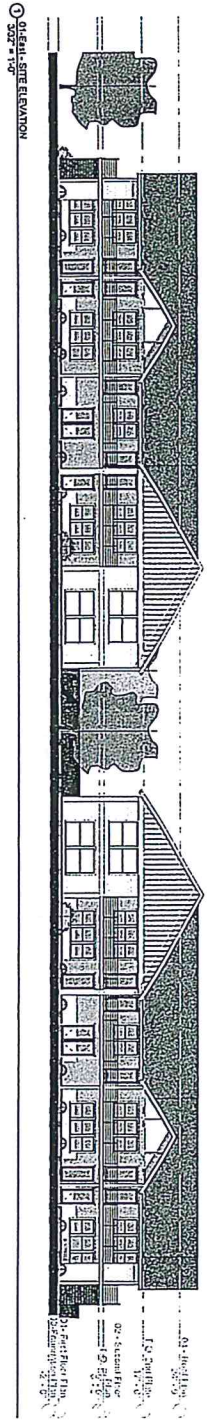
A1.1	SITE ELEVATIONS
A2.0	FOUNDATION PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A2.4	COMMUNITY BUILDING
A2.0	TYP. SECTIONS
A3.1	TYP. SECTIONS
A4.0	ELEVATIONS
A4.1	ELEVATIONS
A4.3	PERSPECTIVES
A4.0	SCHEDULES
F.1.0	FIRE, LIFE, & SAFETY





1004 N.

**EFA**  
architect | builder



A1.1  
SITE ELEVATIONS

A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
12th Street, Oregon Ave., N Long Beach, VA 20621

NO.	DESCRIPTION	DATE

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**EFA**  
architect | builder

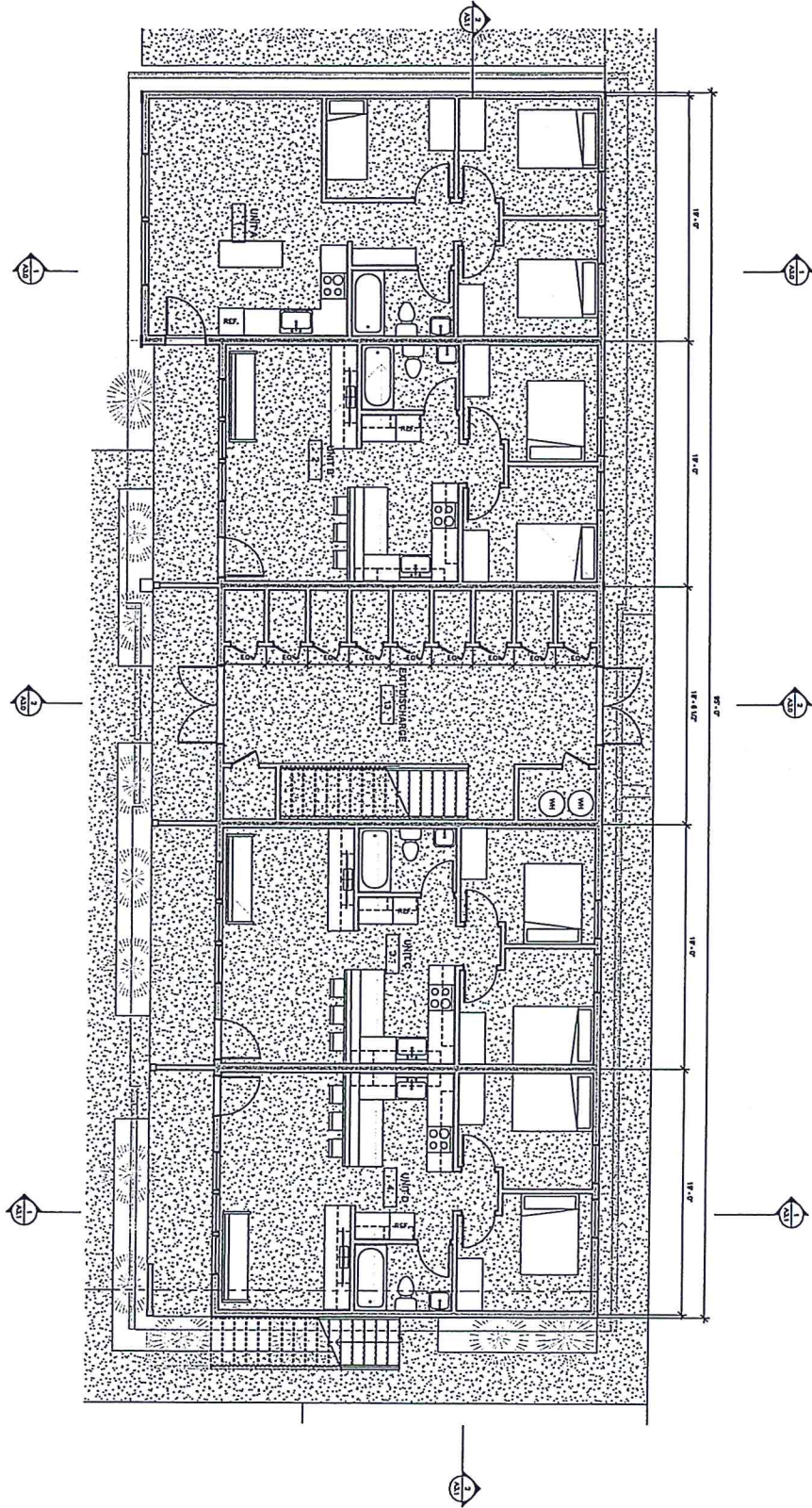
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**EFA**  
architect | builder



01-First Floor Plan - Typical  
1/4" = 1'-0"



A2.1  
FIRST FLOOR PLAN

A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
1001 Grand, Oregon Ave., N Long Beach, WA 98621

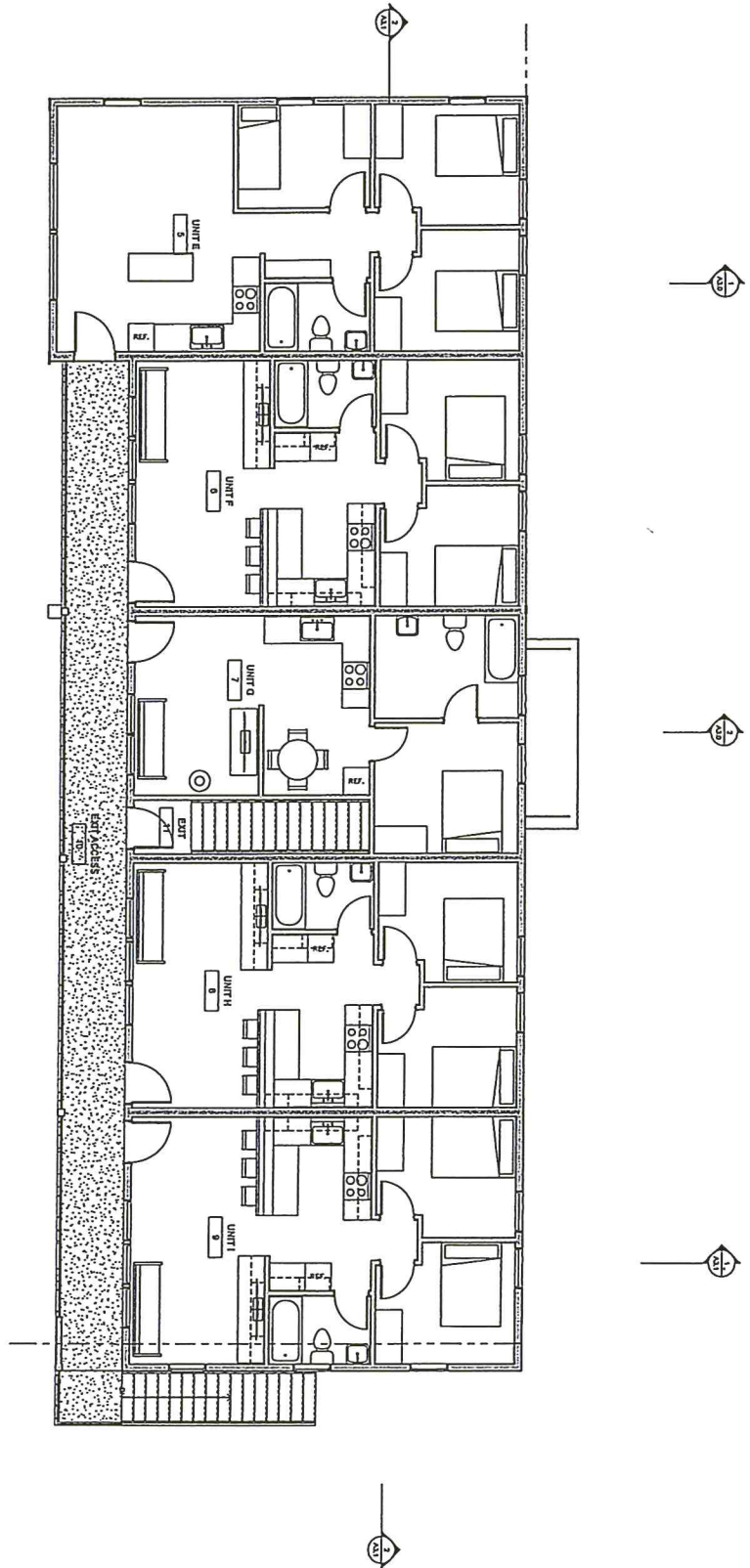
NO.	DESCRIPTION	DATE

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**EFA**  
architect | builder



01 - Second Floor Plan - TYPICAL  
1/4" = 1'-0"



A2.2  
SECOND FLOOR PLAN

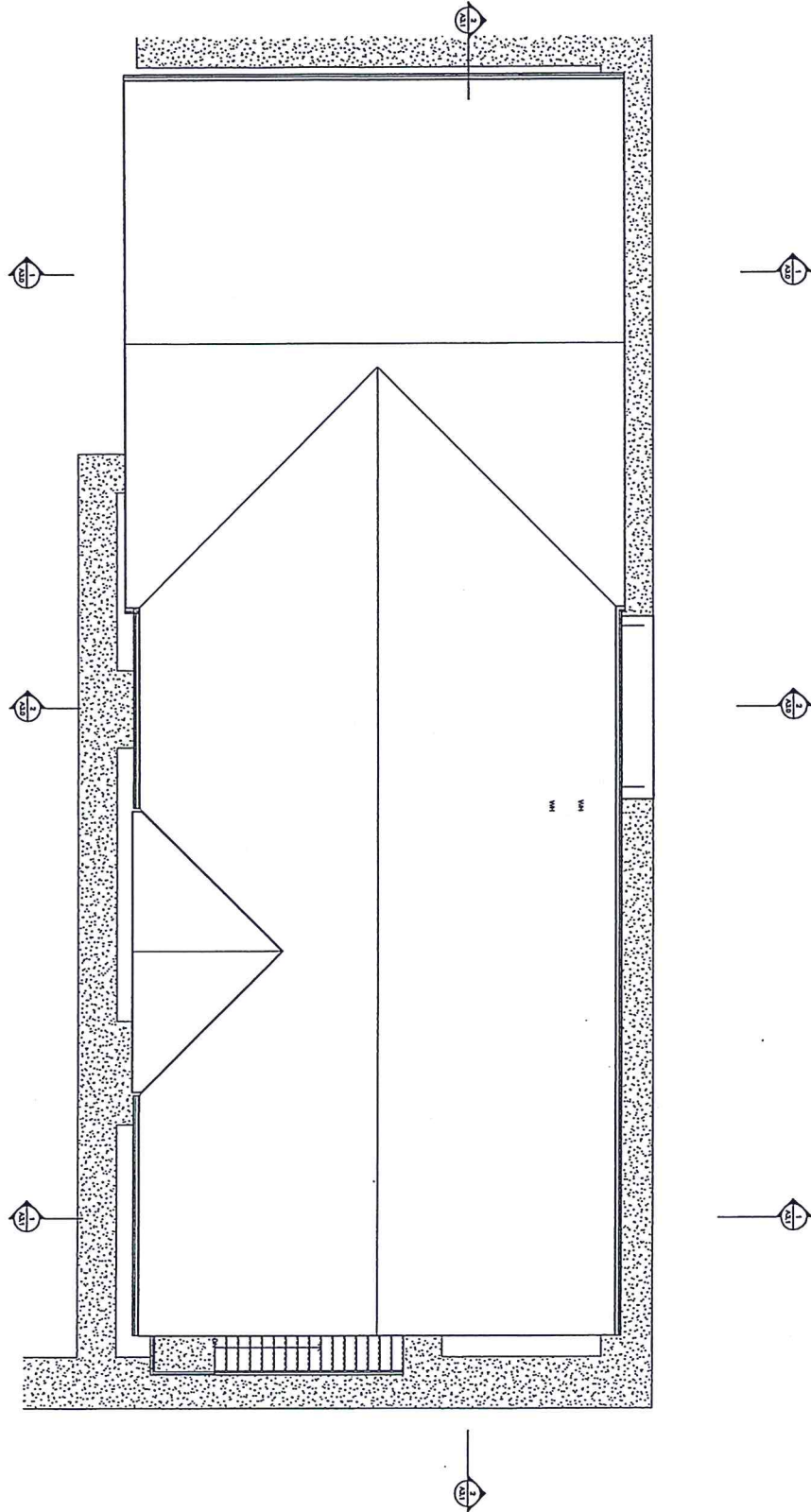
A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
10th Street, Oregon Ave., N Long Beach, WA 98521

NO.	DESCRIPTION	DATE

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**EFA**  
architect | builder

1. Driftwood Point - Typical  
1/4" = 1'-0"



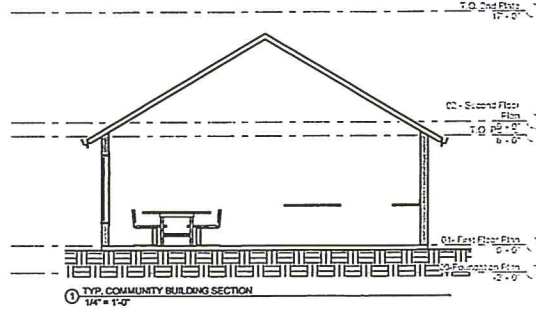
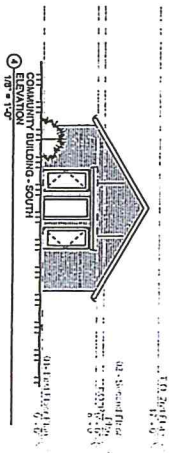
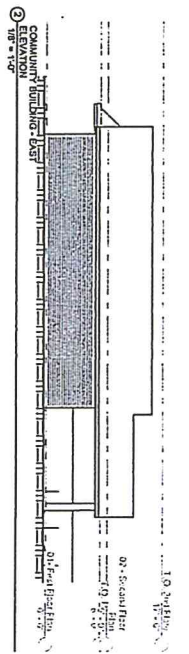
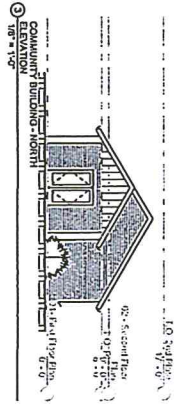
A2.3  
ROOF PLAN

A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
12th Street, Oregon Ave., N Lang Beach, WA 98231

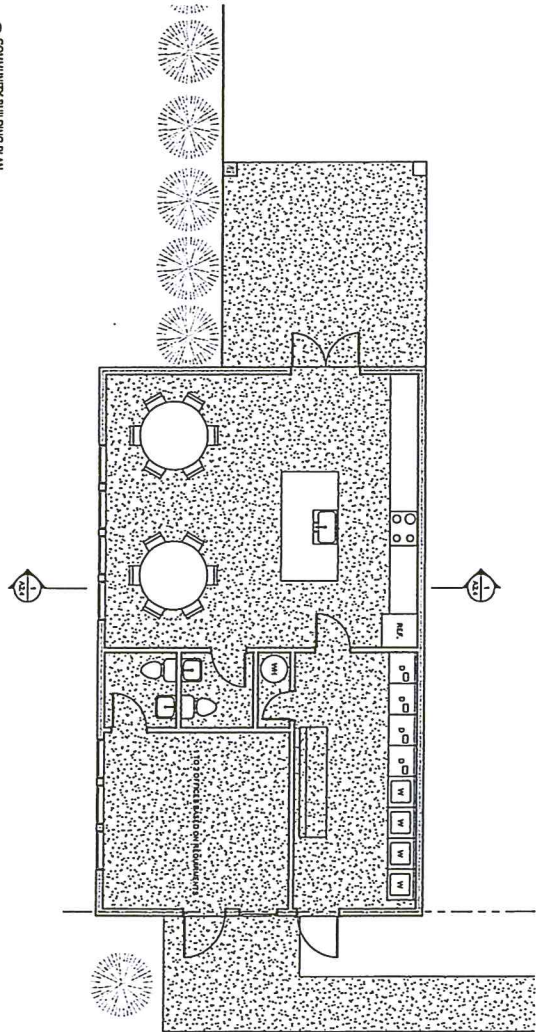
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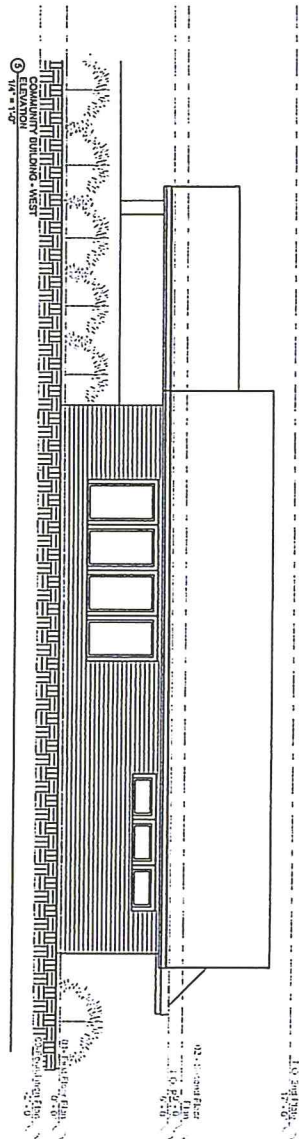
**EFA**  
architect | builder



COMMUNITY BUILDING PLAN



ELEVATION



A2.4  
COMMUNITY BUILDING

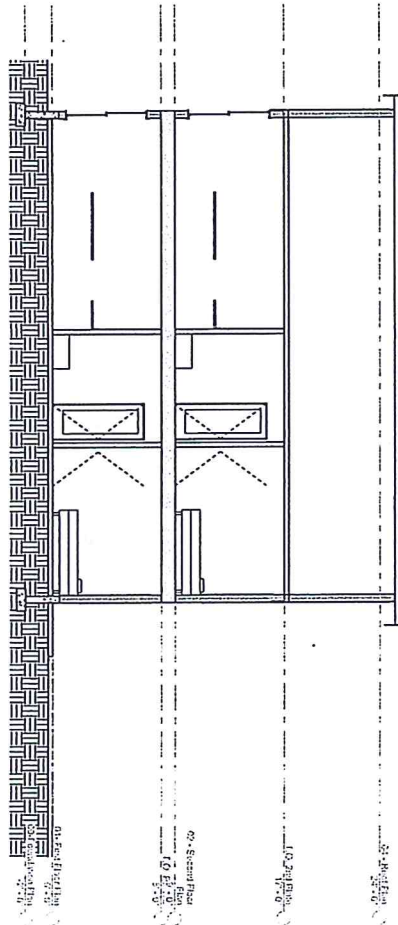
A NEW HOUSING FACILITY FOR  
DRIFTWOOD POINT  
10th Street, Oregon Ave., N Long Beach, WA 98021

NO.	DESCRIPTION	DATE

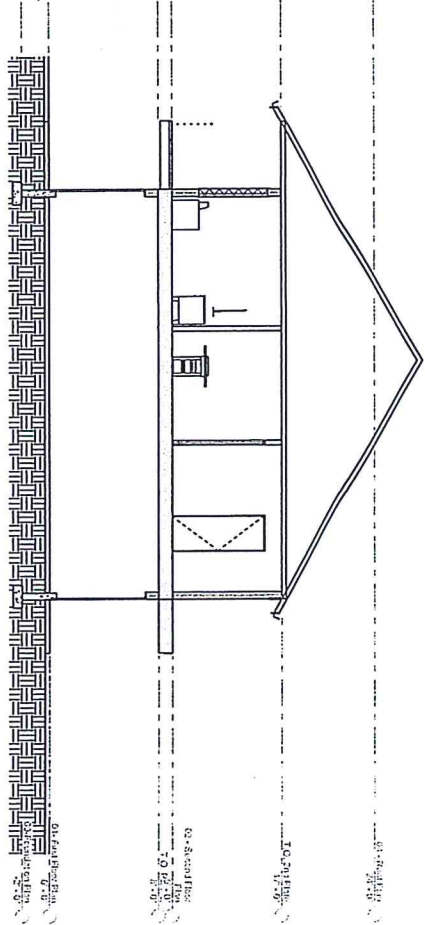
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EFA  
architect | builder

Section 1  
1/4" = 1'-0"



Section 2  
1/4" = 1'-0"



A3.0  
TYP. SECTIONS

A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
10th Street, Oregon Ave, N Long Beach, VA 90531

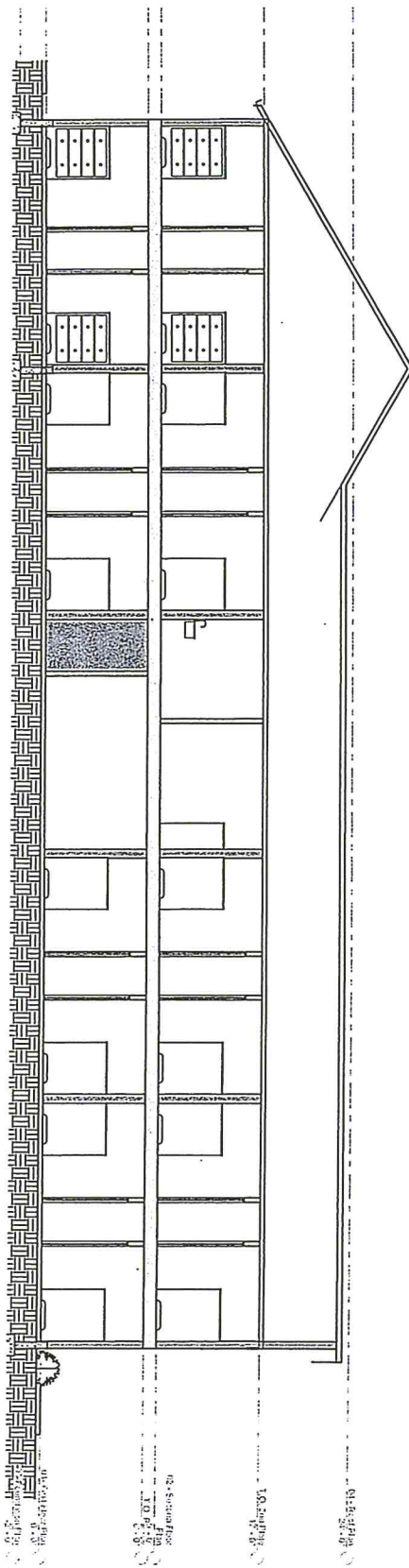
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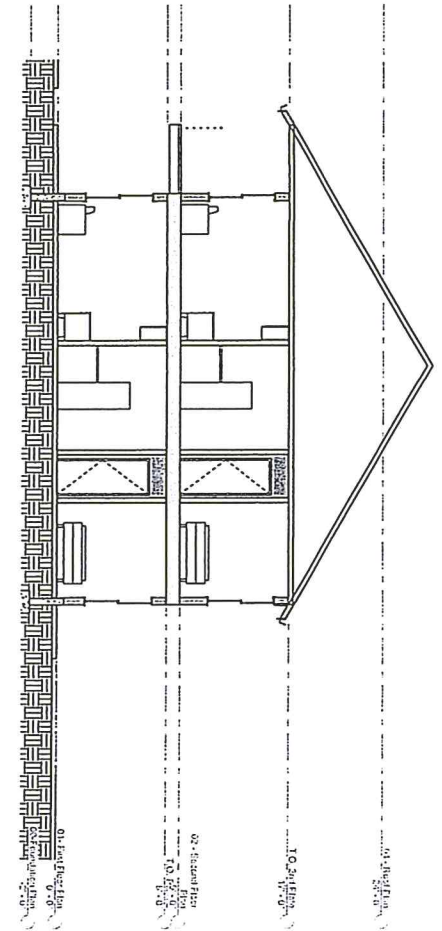
**EFA**  
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Section 4  
1/4" = 1'-0"



Section 3  
1/4" = 1'-0"



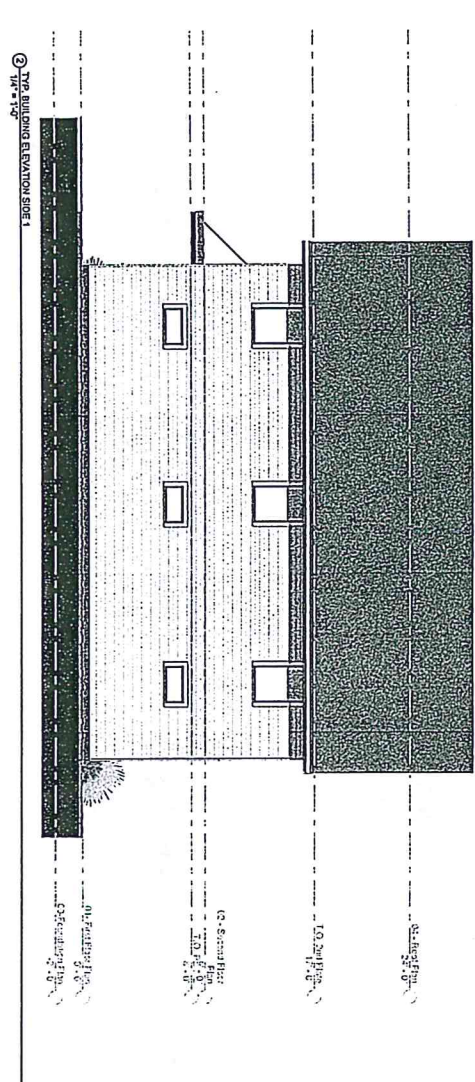
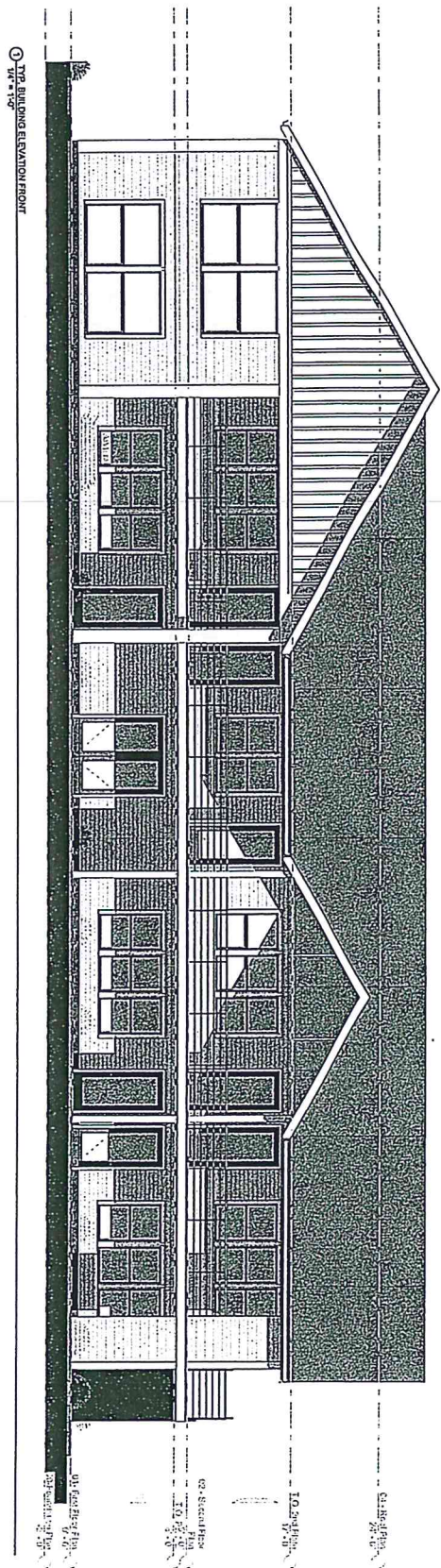
A3.1  
TYP. SECTIONS

A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
12th Street, Oregon Ave, St. Louis Beach, PA 19021

NO.	DESCRIPTION	DATE

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**EFA**  
architect | builder



A4.0  
ELEVATIONS

A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
15th Street, Oregon Ave., N Long Beach, WA 98021

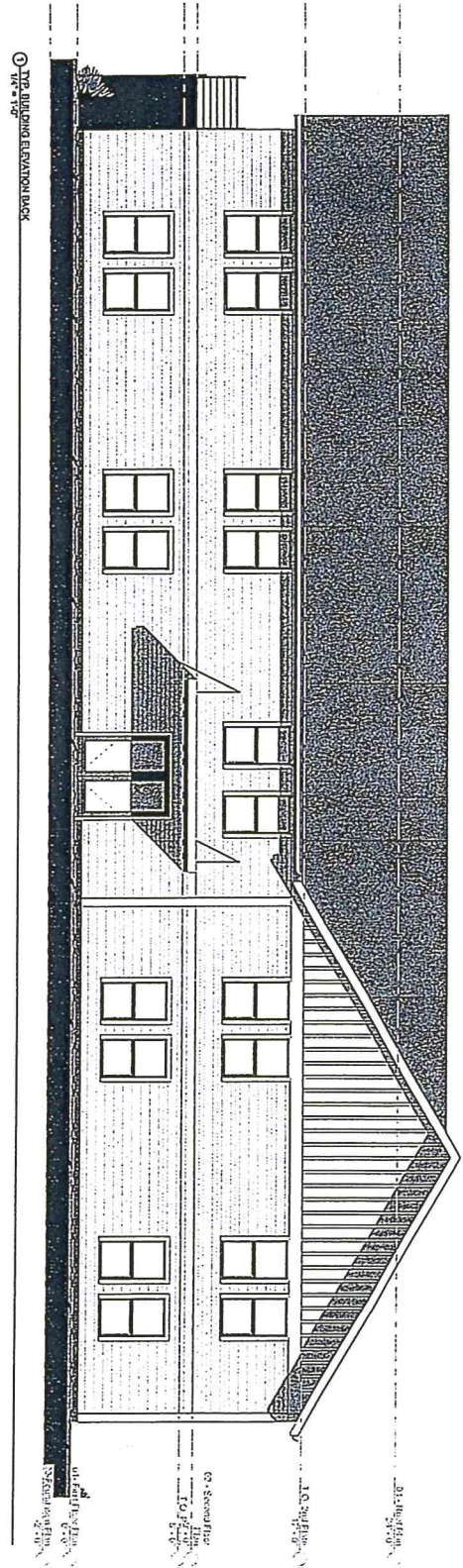
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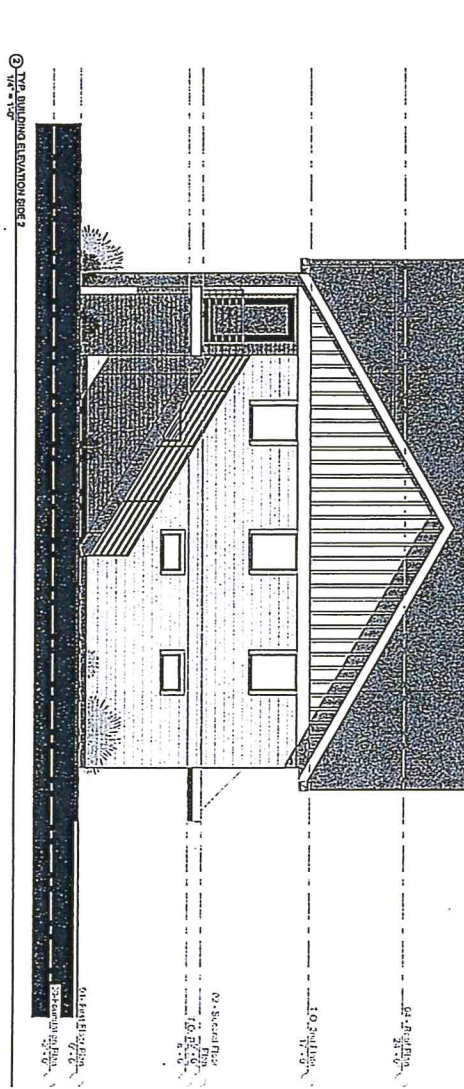
**EFA**  
architect | builder



① TOP BUILDING ELEVATION BACK



② TOP BUILDING ELEVATION SIDE 2



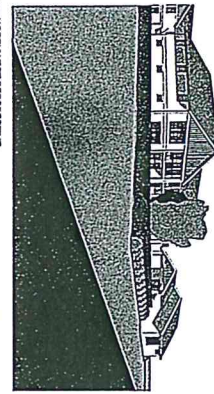
A4.1  
ELEVATIONS

A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
10th Street, Oregon Ave, W Long Beach, WA 98021

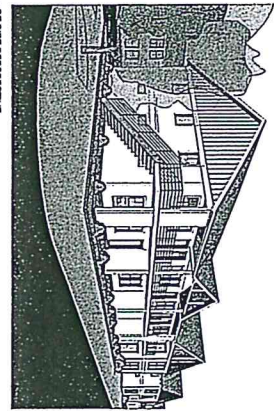
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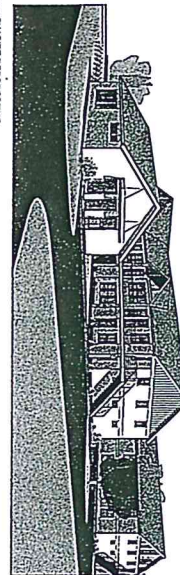
**EFA**  
architect | builder



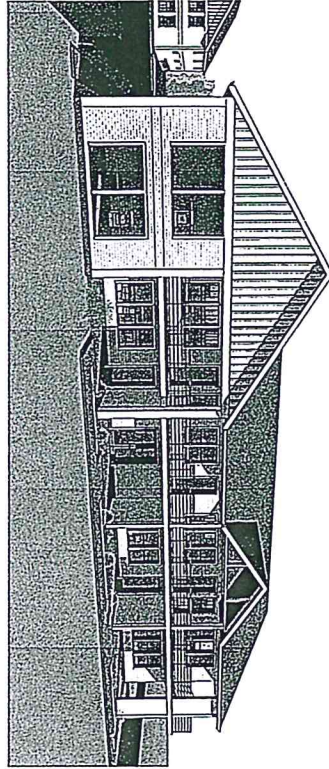
① NORTHWEST PERSPECTIVE



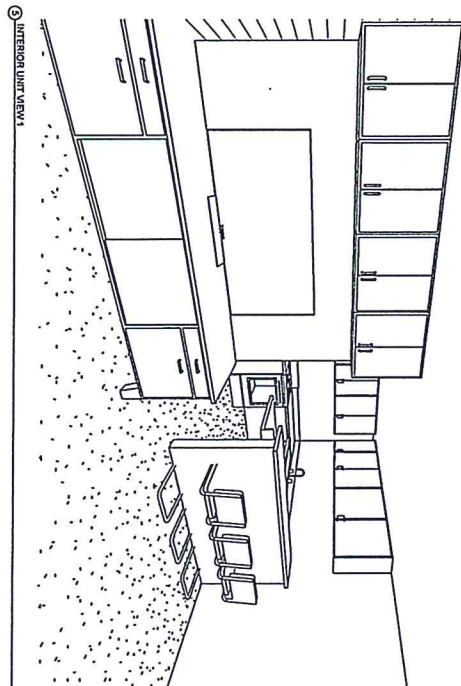
② SITE PERSPECTIVE



③ SW SITE PERSPECTIVE



④ WEST PERSPECTIVE



⑤ INTERIOR LIFT VIEW 1

A4.3  
PERSPECTIVES

A NEW HOUSING FACILITY FOR  
**DRIFTWOOD POINT**  
10th Street, Oregon Ave., N Long Beach, VA 20621

NO.	DESCRIPTION	DATE

THIS SET PRINTED ON: 11/02/2017 1:47:40 PM

**EFA**  
architect | builder









DR 2017-26

APN 73011035003

JPCA Driftwood Point Housing  
RC- Residential Commercial







PACIFIC COUNTY  
WASHINGTON



TAXSIFTER

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[PAYMENT CART\(0\)](#)

Bruce Walker  
PACIFIC County Assessor PO Box 86 South Bend, WA 98586

[Assessor](#) [Treasurer](#) [Appraisal](#) [MapSifter](#)

## Parcel

Parcel#:	73011035003	Owner Name:	JOINT PACIFIC COUNTY HOUSING AUTHORITY
DOR Code:	97 - Exempt Property	Address1:	C/O LONGVIEW HOUSING AUTHORITY
Situs:		Address2:	820 11TH AVE STE A
Map Number:	LONG BCH 35 03	City, State:	LONGVIEW WA
Status:	EXEMPT FULL YEAR	Zip:	98632-2072
Description:	LONG BEACH TINKERS 3RD NORTH ADDITION, Lot 3-6, Block 35		
Comment:	"HOUSING AUTHORITY" EXEMPT UNDER RCW 84.36.010 & 35.82.210(1) AS OF DATE OF PURCH 6/24/08 PER DOR, PRORATE 2008 TAXES		

### 2018 Market Value

### 2018 Taxable Value

### 2018 Assessment Data

Land:	\$180,000	Land:	\$0	District:	34 -
Improvements:	\$0	Improvements:	\$0	Current Use/DFL:	No
Permanent Crop:	\$0	Permanent Crop:	\$0		
Total	\$180,000	Total	\$0	Total Acres:	0.00000

## Ownership

Owner's Name	Ownership %
JOINT PACIFIC COUNTY HOUSING AUTHORITY	100 %

## Sales History

Sale Date	Sales Document	# Parcels	Excise #	Grantor	Grantee	Price
06/24/08	3113015	4	77770	ZINSLI, MICHAEL G & DENA G	JOINT PACIFIC COUNTY HOUSING AUTHORITY	\$210,000
08/27/03	3065555	2	66001	HERBER, WANDA	ZINSLI, MICHAEL G & DENA G	\$170,000

## Building Permits

Permit No.	Date	Description	Amount
LB-100505	5/24/2010	DEMOLISH MH - APPR ALREADY REMOVED VALUE	\$999.00

## Historical Valuation Info

Year	Billed Owner	Land	Impr.	PermCrop Value	Total	Exempt	Taxable
2018	JOINT PACIFIC COUNTY HOUSING AUTHORITY	\$180,000	\$0	\$0	\$180,000	\$180,000	\$0
2017	JOINT PACIFIC COUNTY HOUSING AUTHORITY	\$180,000	\$0	\$0	\$180,000	\$180,000	\$0
2016	JOINT PACIFIC COUNTY HOUSING AUTHORITY	\$180,000	\$0	\$0	\$180,000	\$180,000	\$0
2015	JOINT PACIFIC COUNTY HOUSING AUTHORITY	\$180,000	\$0	\$0	\$180,000	\$180,000	\$0
2014	JOINT PACIFIC COUNTY HOUSING AUTHORITY	\$180,000	\$0	\$0	\$180,000	\$180,000	\$0

[View Taxes](#)



## Parcel Comments

Date	Comment
02/18/09	"HOUSING AUTHORITY" EXEMPT UNDER RCW 84.36.010 & 35.82.210(1) AS OF DATE OF PURCH 6/24/08 PER DOR, PRORATE 2008 TAXES
05/01/07	SEE PP MOBILE PARCEL #80094060000
07/12/02	PREVIOUS DEEDS: 9102-766; 8310-449; 8504-569; 8208-599; 285-9; 256-215; 188-222

## Property Images

Click on an image to enlarge it.



1.0.6103.28469

Data current as of: 11/13/2017 4:11 PM

TX\_RollYear\_Search: 2018

TAB — G





**CITY COUNCIL  
AGENDA BILL  
AB 17-67**

**Meeting Date: November 20, 2017**

**AGENDA ITEM INFORMATION**

**SUBJECT:** Sludge  
Disposal Site Contract

*Originator:*

Mayor

City Council

City Administrator

City Attorney

City Clerk/Treasurer

City Engineer

Community Development Director

Fire Chief

Police Chief

Streets/Parks/Drainage Supervisor

Water/Wastewater Supervisor

DG

**COST:** \$1,300 per month

Other:

**SUMMARY STATEMENT:** The Washington State Department of Ecology has issued the City of Long Beach a Notice of Correction mandating that the city find an alternative biosolids application site. The Goulter site has been vetted by the City Engineer and DOE staff, the next step is to amend the city's application permit and add the site mentioned in this contract. In order to move forward the Council will need to approve this agreement and authorize the Mayor to execute it.

**RECOMMENDED ACTION:** *Authorize the Mayor to enter into this agreement with Allen James Goulter III and Trina Goulter for the use of their property for sludge disposal.*





## SLUDGE DISPOSAL SITE CONTRACT

This Contract, entered into this \_\_\_\_ day of \_\_\_\_, 2017, by and between the **City of Long Beach**, a Municipal Corporation, hereinafter referred to as "City," and **Allen James Goulter, III and Trina M. Goulter**, husband and wife, hereinafter referred to as "Goulter."

WITNESSETH:

THAT CITY AND GOULTER, FOR THE CONSIDERATION HEREINAFTER NAMED, AGREE AS FOLLOWS:

1. PURPOSE: The purpose of this Contract is to set terms and conditions by which City may dispose of bio-solids (sludge) from the Wastewater Treatment Plant on site owned by Goulter as shown on the attached as Exhibit A.
2. TERM: The term of this Contract shall be two (2) years. The Contract shall automatically renew for successive two (2) year terms unless terminated. Negotiations for the next term shall begin one (1) year prior to the end of a two (2) year term.
3. TERMINATION: Either party can terminate this Contract at the end of a two (2) year term by giving one (1) year advance notice of non-renewal to the other party. The parties may terminate the Contract at any time by mutual consent.
4. INSURANCE: City shall provide insurance to cover Goulter and assume full responsibility in the event of property damage, personal injury and/or environmental cleanup if the damage or injury was directly related to said bio-solids application.
5. RESTRICTION: City shall be restricted from applying bio-solids from any other source except the City of Long Beach Wastewater Treatment Plant and City of Ilwaco Wastewater Treatment Plant. The bio-solids shall be distributed by the City of Long Beach or City of Ilwaco only, and not by any other entity or outside contractors unless contracted for City waste.
6. HEALTH PERMIT: City shall provide to Goulter a copy of the Department of Health Permit for bio-solids disposal.
7. ROAD MAINTENANCE: City shall maintain existing roads owned by Goulter which are used by City for purposes of bio-solid disposal. The requirement for maintenance shall be as determined by Goulter and the City as shown below.
8. ENTRANCES The entryways will be appropriate for easy access and room for the sludge truck to be completely off Chinook Valley Road. Entrances will be moved, if necessary, to accomplish the easy access requirement. City shall install tube steel gates at the entryway that can be chained and locked. City will maintain the entryway and field crossings with crushed rock so as to prevent ruts and puddles and other unforeseen problems.

9. APPLICATION SITE: Every year, City shall make improvements on application site.
10. CONSIDERATION: The payment to Goulter shall be \$1,300.00 per month beginning May 1, 2018,
11. Should City be prevented, through no action of its own, from depositing sludge on this property, City shall have the option to suspend the monthly payment.
12. POSTING OF PROPERTY: City shall provide, maintain and post signs at bio-solid disposal sites.
13. ENTRY/EXIT NOTIFICATION: City agrees to contact Goulter before each sludge application at (360) 642-4636 or (360) 642-2266 or (360) 244-3433. Sludge will be applied only to the site on Exhibit A.

CITY OF LONG BEACH

GOULTER

---

Jerry Phillips, Mayor

---

Allen James Goulter III

---


Trina Goulter, Partner

**EXHIBIT A  
SLUDGE DISPOSAL SITE CONTRACT**

Parcel Number:

10103020000






Pacific County  
Washington  
Self Service Government MapSifter®  
Search

Examples:  
Parcel: 74015001028  
Address: 300 Memorial Drive  
Owner: Jackson


MAP IS FOR INFORMATIONAL PURPOSES  
ONLY. DATA MAY NOT BE CURRENT.

<< < > >>

Distance Area Edit Last Clear



Parcel: 10103020000  
[District Information](#)  
Owner: GOULTER, ALLEN J &  
TRINA M  
Situs:



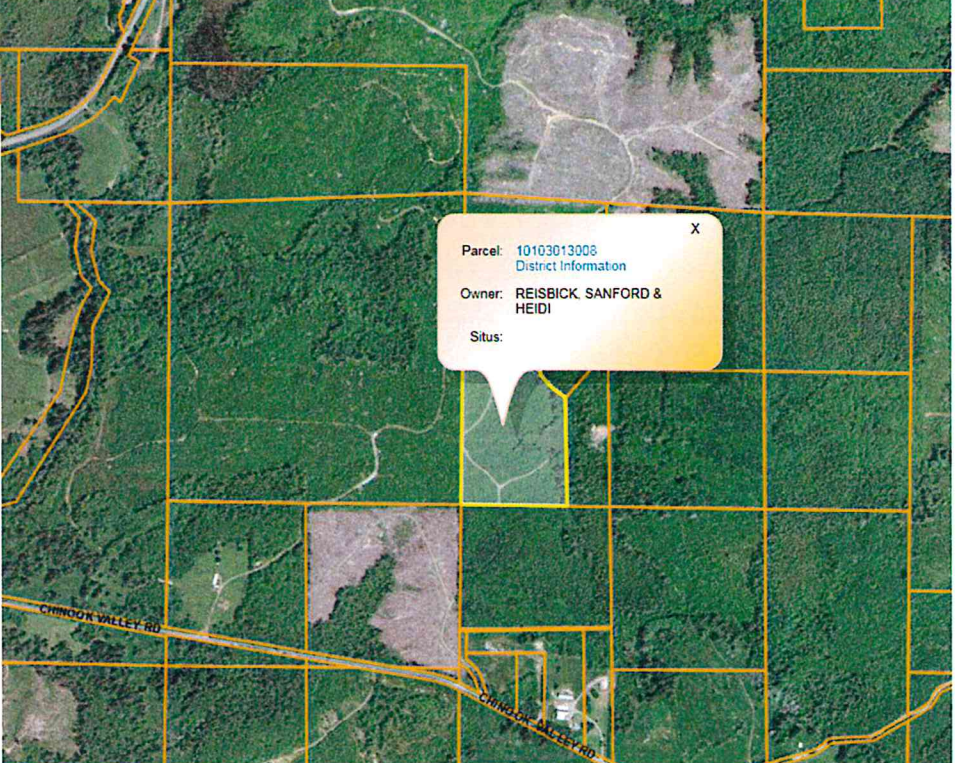
Pacific County  
Washington  
Self Service Government MapSifter®  
Search

Examples:  
Parcel: 74015001028  
Address: 300 Memorial Drive  
Owner: Jackson

MAP IS FOR INFORMATIONAL PURPOSES  
ONLY. DATA MAY NOT BE CURRENT.

<< < > >>

Distance Area Edit Last Clear



Parcel: 10103013008  
[District Information](#)  
Owner: REISBICK, SANFORD &  
HEIDI  
Situs:



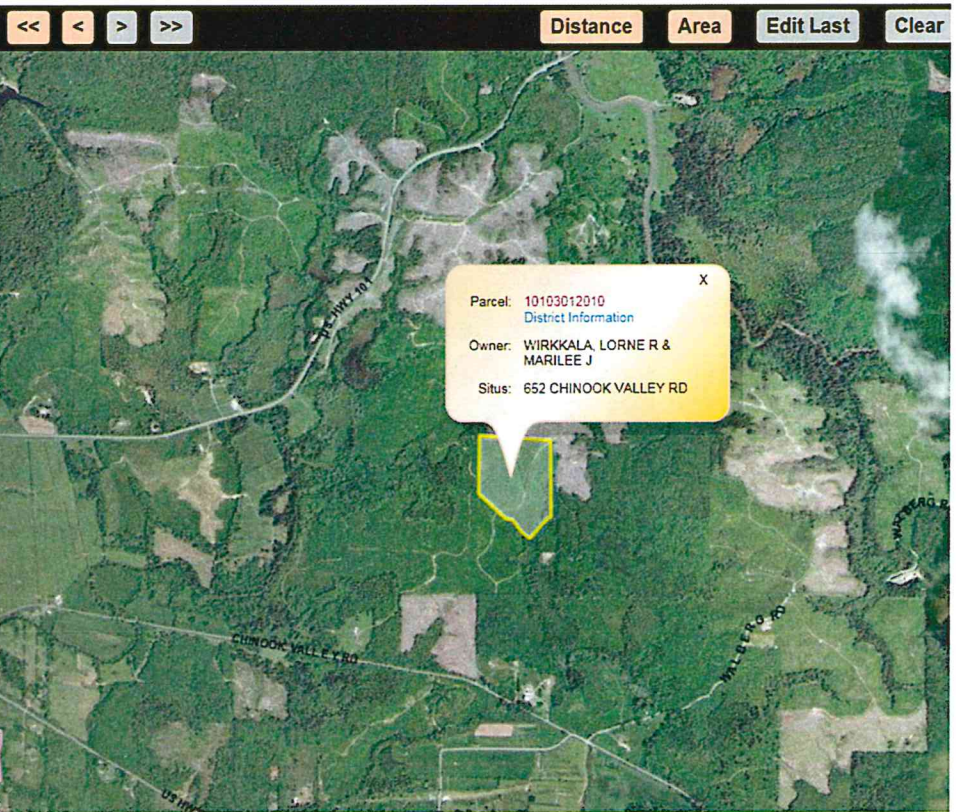
**examples:**

Parcel: 74015001028

Address: 300 Memorial Drive

Owner: Jackson

MAP IS FOR INFORMATIONAL PURPOSES  
ONLY. DATA MAY NOT BE CURRENT.



ТАВ — Н



## David Glasson

---

**From:** Wasielewski, Joylynn M <Joylynn.Wasielewski@charter.com>  
**Sent:** Thursday, November 9, 2017 2:37 PM  
**Subject:** Charter Communications ("SPECTRUM") Programming Update 11.09.2017

Charter Communications ("SPECTRUM") is making changes to our channel lineup for customers in your community.

Effective on or after December 5, 2017:

- FXX will no longer be available on the SPP Tier 1, the SV/Tier 2 or the Variety Pass and Variety Pass Plus Tiers on our line-ups.
- FXX HD will no longer be available on the SPP Tier 1 HD or the SV/Tier2 HD on our line-ups.
- National Geographic will no longer be available on the DVP/Tier 1 or the Variety Pass Plus Tier on our line-ups.

Charter is making customers aware of these changes via a cable bill message.

If you have any questions regarding this change, or any other cable related issues, please do not hesitate to contact me directly at (360) 258-5108 or by email at [Marian.Jackson@Charter.com](mailto:Marian.Jackson@Charter.com).

Sincerely,



**Charter**  
COMMUNICATIONS

**Marian Jackson** | Director, Government Affairs | Wk: 360-258-5108 | Cell: 360-600-4131  
222 NE Park Plaza Drive, #231 | Vancouver, WA 98684

The contents of this e-mail message and any attachments are intended solely for the addressee(s) and may contain confidential and/or legally privileged information. If you are not the intended recipient of this message or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and any attachments. If you are not the intended recipient, you are notified that any use, dissemination, distribution, copying, or storage of this message or any attachment is strictly prohibited.





**2017 October Staff Report**  
**Tourism & Events Department**  
**City of Long Beach, WA.**

**Long Beach Package Travel / Cruise Ships:**

- 12 Tour Operators have requested an appointment from Long Beach Package Travel at American Bus Association in January.
- We hosted Landmark Tour and Cruise to Long Beach for 2 days.
- Researching and connecting tour operators for 2018 – 2019
- Newsletter had a 15.4% open rate and we got personal emails back regarding the newsletter. We are still within industry standards. That is why updating our resources and tools at budget time will be important. 216 subscribers and looking to increase this next year as we continue to get people signing up. We need to add a signup button on our web page and social media sites.
- Met with Tour Operator and discussed Cruise Ship Excursions for 2018.
- Participated in a Webinar for the American Bus Association's Convention.
- Participated in monthly WA State NTA Delegation conference call regarding TREX2017
- Tammy Guill Tour Operator is bringing a group here in March. We are working on her itinerary and she has booked lodging.
- Working on getting step on guides

**SummerFest:**

- Budget research
- Considering date, time and cost for Washington Festivals and Events Association Conference.
- Considering date, time and cost for Oregon Festivals and Events Association Conference.
- Continuing to use our Facebook page to promote other Long Beach happenings.

**Trolley:**

- Marketing Trolley for groups.
- Serving American Cruise Lines Passengers 10 times in October.
- Researching groups to use the trolley for tours. We have had a great partnership with Aaron Webster at LCIC. He will refer the Trolley to Group Leaders.
- Filled trolley with fuel and cleaned it out.
- Looking into Don Nisbett's art for inside of trolley.
- Trolley ran for Cranberrian Fair.

**Festivals and Events:**

- Hosted Books at Long Beach Authors Showcase – 40 authors under one roof. The VB would like to market this event next year AND add it to the Events Rack Card/Calendar.
- Met with Orchid Cavett regarding Holidays at the Beach (HATB) and city logistics. I met with Orchid 3 times in October.
- Attended Event Chairs City Meeting with the Merchants, David and the Mayor.
- Met with All Things Fun Sports and the Peninsula Lions regarding Surf Perch Derby.

**Marketing & Meetings:**

- Attended Long Beach Merchants Association General and Board meeting and reported on Long Beach happenings.
- Working on Marketing Bags for 2018 group.
- Assembled 40 information folders for the Human Resources Council Conference in Long Beach scheduled for the first week in November at the Adrift. This is another set of group rooms.

Respectfully Submitted,

Ragan Myers

Tourism & Events Coordinator

City of Long Beach, WA.

## **2017 November Staff Report**

### **Tourism & Events Department**

#### **City of Long Beach, WA.**

##### **Long Beach Package Travel / Cruise Ships:**

- Budget preparation
- Researching tour operators and groups for 2018-2019
- Working with our social media gal for Facebook, Newsletters, Advertising leads, supplier referrals
- Met with Ellie Anderson regarding a Washington Trucks Meet scheduled for May 19<sup>th</sup>, 2018
- Discussing “RVs By the Sea” Show and Sale for April 27, 28, 29, 2018
- Working with 6 different tour operators for the groups coming in June, August, September and October of 2018.
- Serviced American Cruise Lines (Paddle Boats American Pride and Queen of the West) 55 times in 2017 from April – November 1<sup>st</sup>, 2017. Over 2,500 passengers were served.
- We have partnered with Lor’s Tours to bring Cruise Ship Passengers from Princess, Royal Caribbean and Holland America.
- We are working to get all the information that Disney Cruise Lines needs to offer our horseback riding companies cruise ship business.
- Lori and I partnered to create an Eateries Guide for these passengers to use when they are exploring downtown Long Beach. When Lori brings groups over, she is selling her Lighthouses and Long Beach tour that gives them at least 2 hours of downtown shopping time. We brought 6 trips to Long Beach in 2017.
- Registering and researching tour operator for the American Bus Association Convention in January. We are registered and have already begun requesting appointments. We had 8 operators request appointment with us already.
- Site visit with Lori Kulp for more potential Long Beach Shore Excursions from the large cruise lines.
- Assisted Human Resources Council on their conference in Long Beach at the Adrift. The Mayor and I welcomed the group and took several pictures of the event. It was a nice group of 35+ entities from 5 counties. We were able to book lodging and showcase our area.
- Considering partnering with the new restaurant at Chautauqua Lodge for groups. Saltwater Bar & Grille
- Working with a Rose Festival Clown to host “Clowning at the Coast” in late 2018 or early 2019.



**SummerFest:**

- Budget season
- Looking into attending the WFEA and OFEA conferences to better serve our festivals and events

**Trolley:**

- Scheduling the trolley for special events associated with the Sou'wester, Adrift Hotel and the Chinook Events Center. This has been a great partnership.
- We are always looking for CDL passenger endorsed drivers for during the school year. I have some feelers out, but like to have a few names on file. I have had to use my MTR driver friends from out of the area to make sure we can cover the customer's needs.
- Trolley will need some basic maintenance and service work now that the season is over.
- Looking to get with Don Nesbit on the interior event and festival signage for advertising the City.
- We have been marketing the trolley to Tour Operators and groups with the help of Aaron Webster at State Parks LCIC to allow and service visitors to the Lewis & Clark Interpretive Center since our vehicle can access the handicap area better than a full motor coach. They have even set up special parking for us to pull in and back up successfully.

**Train Depot:**

- Booking the building for groups and events.
- Marketing the facility.
- Need to put the pictures back on the wall inside the building. We took them down for painting and left them down this year while PAA completed their art sales.
- Checking to make sure that the building is cleaned up after each use. Checklist is returned with the key.

**Festivals & Events:**

- Working with All Things Fun Sports on the 2018 events in Long Beach. Up next is the National Wheelchair Basketball Association's Sanctioned Tournament MLK weekend at the Ilwaco High School.
- Assisting DAR & WOTM for Wreaths Across America December 16<sup>th</sup>, 2017
- Assisting Orchid Cavett with taking over Holidays at the Beach for the Long Beach Merchants
- Lodging for Pyrotechnicians for New Year's Eve Fireworks.

**Marketing & Meetings**

- Attended the Ocean Park Chamber meeting and reported on Long Beach activity.

- Attended the Pacific County Tourism Bureaus November meeting and reported on Long Beach activity.
- Attended the Long Beach Merchants General and Board meeting and reported on Long Beach activity.

I would like the council to take note that this is for the first half of November. I will be out of the office November 18<sup>th</sup> – 28<sup>th</sup>, 2017. Thank you in advance!

Respectfully Submitted,

Ragan Myers



## City of Long Beach Activities Report

October 2017

Wastewater Dept.

Call Outs - 1 ( 17<sup>th</sup> st. North station Failed )

Meetings - 6

Safety Meetings - 1 (Defensive Driving )

Plant Management - Monthly DMR's / Paperwork Review / Emails / Ordering Supplies / 2018 Budget.

Customer Service - 1

Locates - 9

Hauling Sludge - 0 loads.

Lift Station Checking - Daily Action. ( inspection / cleaning transducers )

Lift Station Wash down - 1 Plant Wash Down - 2

Samples - Daily Action / Weekly Action. ( BOD's / TSS's / Fecal's )

Samples to Lab - 1 ( regular )

Pump / Blower Maint. - 6 ( Grit Pump pulled WWTP , Jammed Pump 15<sup>th</sup> s. / butt hair )

Sink Hole Investigation - 1

Main Repairs - 1 (17<sup>th</sup> st. north station discharge line failed )

Equipment Cleanup - 2

Headworks Debris Removal - 2 Decanting Digester - 3

Training - Matt W still in WWTP training on weekends.

### Other Activities -

Meeting W/ engineers on SEPA checklist for new Bio-solids plant.

Meeting W/ DOE for Bio-solids handling.

New Bio-solids site investigation.

Wired New Blower at WWTP.

New Bio-solids site prep.





## City of Long Beach Activities Report

October 2017

Water Dept.

Call Outs - 2 ( Shut Offs )

Meetings - 7 Staff / Home owners ( New Construction ) / Contractors ( 28<sup>th</sup> st Drainage Construction ) / HD Fowler ( Remote Meter Project ) / 2018 Budget Review / Observer Article / Pole Building Bid.

Safety Meetings - 1 ( Defensive Driving )

Plant Management - Paperwork / ordered parts / time cards / Monthly DOH Report / Monthly DMR's. / Monthly Report / Bills / Log Book / Billing new services / Road Cuts / Called Locates / CT Paperwork / 2018 Budget / Flush Notices / Backflow Reports.

Customer Service - 4

Locates - 28

Emergency Locates – 2 ( PUD Washington Project )

Re-reads - 11

Install New Meters - 1 ( Chatauqua Lodge 3" ) Meter Reinstall - 0

New Service Investigations – 2 Valve Investigation - 1

New Service Prep – 1 Valve Can Raising - 14

Meter Removal – 3

Meter Repairs - 5

Hydrant Maint. - 1 ( Replaced 3<sup>rd</sup> st. south hydrant )

Shut Off's - 7

Turn On's - 4

Res. Checking - 2

Res. Maint. – 0

Leak Repairs - 1 ( 67<sup>th</sup> Booster Station )

Leak Investigations - 1

Equipment Cleanup - 4

System Samples - Weekly entire system.



Samples to Lab - 1

Training -

None.

Other Activities –

Reading Meters. ( Seaview )

Installed New Hydrant 3<sup>rd</sup> st. south.

County Dig Assist. ( 67<sup>th</sup> Booster Station )

Ilwaco Culvert Jetting.

Sweeping Town.

Cleaning Approach.

Installing New 3" Meter ( Chatauqua Lodge )

Cutting Trees `on Beach.

Patching Overflow at Main Impoundment.

Installing New Hydrant Ballards.

Naselle Rock Patching Raod Cuts.



